

5.

HOUSE TYPES

The architecture advocated by Gascoyne Cecil Estates is designed to build from local tradition, utilising architectural patterns found already within Hertfordshire. That is not to say Gascoyne Cecil Estates opposes evolution nor contemporary interventions.

Whilst architecture has been designed to reflect the history of the local area, the houses themselves are designed with modern interiors, and features requested by those who have attended the charrettes and other public events.

The following pages introduce the different house types proposed for use on Gascoyne's strategic sites, and indicates their placement within each area,. These houses come in many sizes and styles, with prominent house types including terraced houses, mansion flats, mews, detached houses and cottages. Many of these houses are inspired directly by architectural precedents, whilst others are more contemporary in design. The wide range of house types should suit residents from a range of backgrounds, family sizes and aesthetic preferences.

Each house type is introduced, with its plans and elevations available for study. Some elements of the houses' architectural detailing are also briefly addressed, with the origins of the approaches to window, door and façade detailing explained alongside images of historic precedents.

All house types and building elements will adhere to the Gascoyne Cecil Estate's design code. The code will regulate the houses' height, façade measurements and relationship to the streets, and provide a framework by which the town can continue to develop as a cohesive whole.

HOUSING LEXICON





2B - CT - 74
- 2 storeys
- G.I.A: 74m²



2B - MW - 98
- 1.5 storeys
- G.I.A: 98 m²



2B - CT - 80
- 1 storeys
- G.I.A: 80 m²



3B - TH - 104
- 2 storeys
- G.I.A: 104 m²



2B - MW - 87
- 2.5 storeys
- G.I.A: 87 m²



3B - TH - 107
- 2 storeys
- G.I.A: 107 m²



2B - MW - 84
- 2 storeys
- G.I.A: 84 m²



3B - CT - 109
- 2 storeys
- G.I.A: 109 m²

HOUSING LEXICON



3B - SD - 118
- 2 storeys
- G.I.A: 118 m²



3B - SD - 134
- 2 storeys
- G.I.A: 134 m²



3B - H - 122
- 2 storeys
- G.I.A: 122 m²



3B - SD - 136
- 2.5 storeys
- G.I.A: 136m²



3B - H - 125
- 2 storeys
- G.I.A: 125 m²



3B - SD - 157
- 3.5 storeys
- G.I.A: 157 m²



3B - SD - 144
- 2 storeys
- G.I.A: 144 m²



4B - H - 149
- 2 storeys
- G.I.A: 149 m²



4B - H - 143
 - 2.5 storeys
 - G.I.A: 143 m²



5B - H - 172
 - 2 storeys
 - G.I.A: 172 m²



4B - TH - 140
 - 2 storeys
 - G.I.A: 140 m²



5B - H - 186
 - 2 storeys
 - G.I.A: 186 m²



4B - H - 152
 - 2 storeys
 - G.I.A: 152 m²



5B - H - 231
 - 2 storeys
 - G.I.A: 231 m²



4B - H - 155
 - 2 storeys
 - G.I.A: 155 m²

ONE BED - IB - MW - 43

Mews properties are usually located in the middle of blocks and the rear plots accommodate one or two parking spaces. The property may be front loaded when located along a lane or rear loaded when on a small street or pedestrian path. Mews are also designed to provide over looking and activity in lanes and where required improve density. This property is designed to be used on both individual sites or grouped as a terrace.



Front elevation

T3/4

Gross Internal Area (GIA)

43 m²

Bedrooms

1

Bathrooms

1

Height

1 storey

Outbuilding

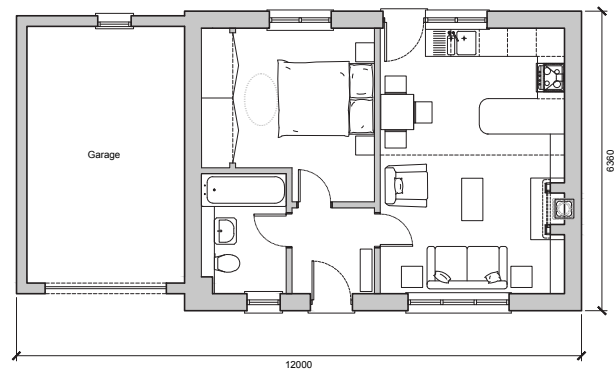
Yes, optional garage

Frontage

12m

Type

Mews



Ground floor plan



These units can be grouped to create denser urban forms.

ONE BED - IB - CT - 43

Cottages and small houses are designed to be used in T3 and T4 rural area's. This small bungalow may be located on small streets and pedestrian paths, it benefits from a rear garden with a single storey outbuilding.



Front elevation

T3/4

Gross Internal Area (GIA)
43.3 m²

Bedrooms
1

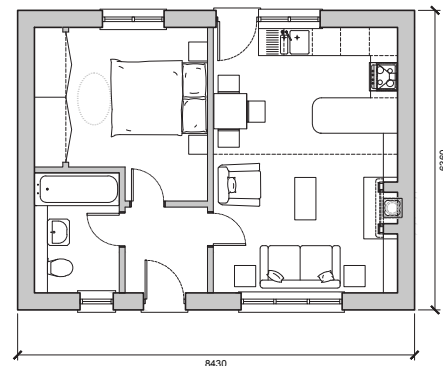
Bathrooms
1

Height
1 storey

Outbuilding
Yes

Frontage
8.5 m

Type
Cottage



Ground floor plan



These units can be grouped to create denser urban forms.

ONE BED - IB - CT - 53

Cottages and small houses are designed to be used in T3 and T4 rural area's. When located on small streets and pedestrian paths it benefits from an edge garden, often shared with a single storey outbuilding.



Front elevation

T3/4

Gross Internal Area (GIA)
53 m²

Bedrooms
1

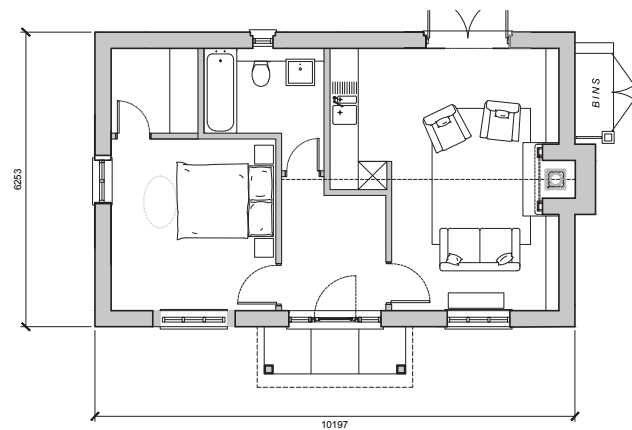
Bathrooms
1

Height
1 storey

Outbuilding
Yes

Frontage
11 m

Type
Cottage



Ground floor plan

ONE BED - 1B - MW - 59

Mews properties are usually located in the middle of the of the block and their plots accommodate one or two parking spaces. This unit is front loaded and designed to provide overlooking in lanes and parking courts. This example is designed with a single aspect to avoid overlooking adjoining property and can be used to add density where required.

T3/4

Gross Internal Area (GIA)
59 m²

Bedrooms
|

Bathrooms
|

Height
2.5 storey

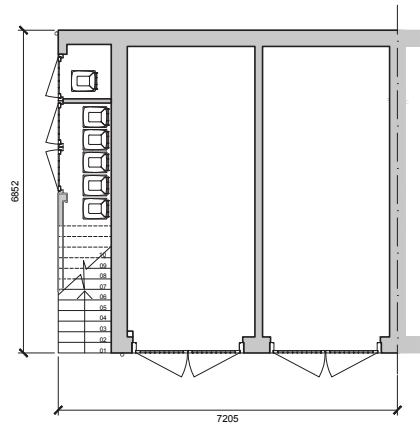
Outbuilding
N/A

Frontage
7.2m

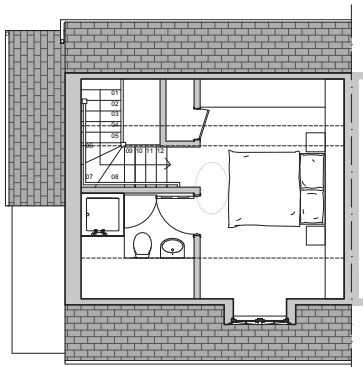
Type
Mews



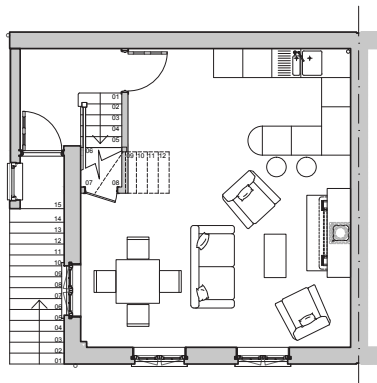
Front elevation



Ground floor plan



Second floor plan



First floor plans

ONE BED - 1B - MW - 69

This 'coach house' is configured for location in the middle of a block and its plot accommodates four parking spaces, two of which are allocated to the adjoining rear property. It is also designed with a single aspect to avoid overlooking adjoining property. This mews unit is front loaded and may be located in lanes and other shared surface areas.



Front elevation

T3/4

Gross Internal Area (GIA)
69.2 m²

Bedrooms
1

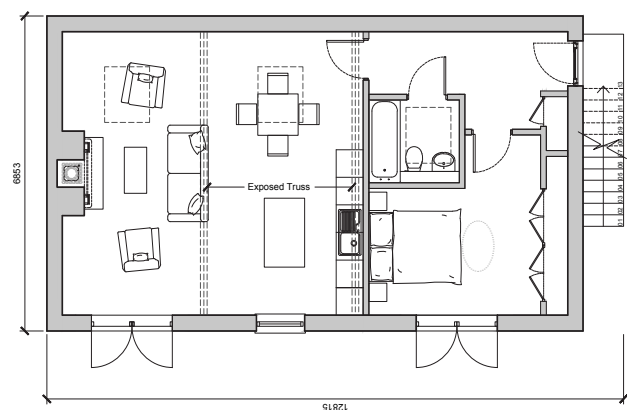
Bathrooms
1

Height
2 storey

Outbuilding
N/A

Frontage
12.8 m

Type
Mews



Ground floor plan

TWO BED - 2B - SD - 66

This small house is specifically designed to be a semi-detached property with a side rear garden, to be used mainly in T4 rural areas.



Front elevation

T4

Gross Internal Area (GIA)
66.5 m²

Bedrooms
2

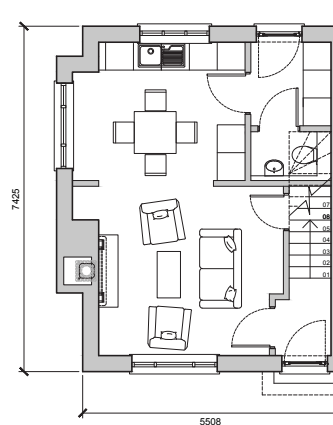
Bathrooms
1

Height
1.5 storey

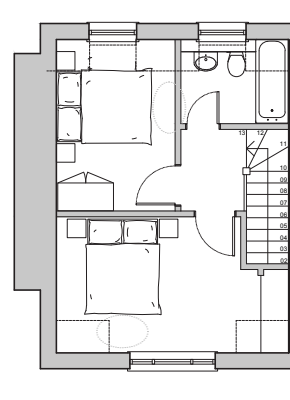
Outbuilding
Yes

Frontage
5.5 m

Type
Semi detached



Ground floor plan



First floor plan

TWO BED - 2B - SD - 71

This small townhouse is a variation of 2B-SD-66 and can be used as a semi-detached or a terraced property.



Front elevation

T3/4

Gross Internal Area (GIA)
70.8 m²

Bedrooms
2

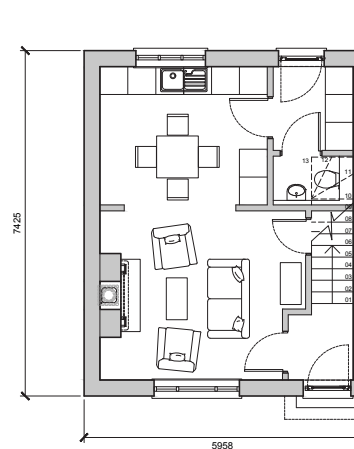
Bathrooms
1 + 1 WC

Height
1.5 storey

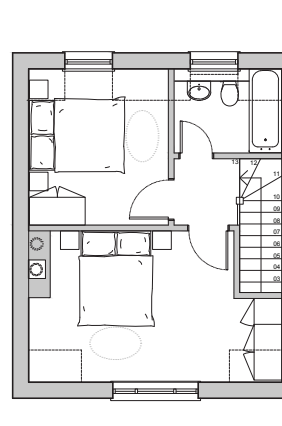
Outbuilding
Yes

Frontage
6 m

Type
Semi detached, terrace



Ground floor plan



First floor plan

TWO BED - 2B - TH - 66

This small town house can be used as a semi-detached or terraced property. Its narrow frontage provides increased density in localised area and also allows gradients to be accommodated by stepping adjacent properties. As a stand alone semi-detached property, it has the presence to hold and terminate a vista.

This townhouse may be used in T5 and T4 area's.



Front elevation

T4/5

Gross Internal Area (GIA)

66 m²

Bedrooms

2

Bathrooms

1 + 1 WC

Height

2.5 storey

Outbuilding

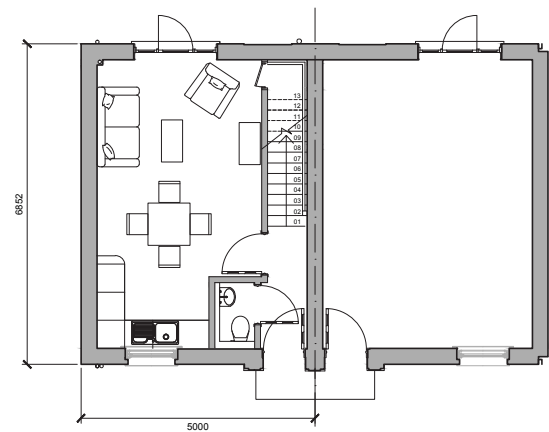
Yes

Frontage

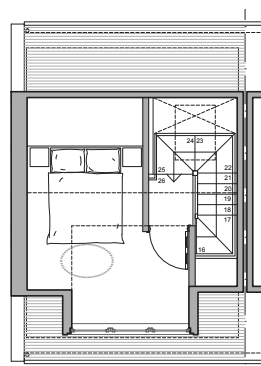
5m

Type

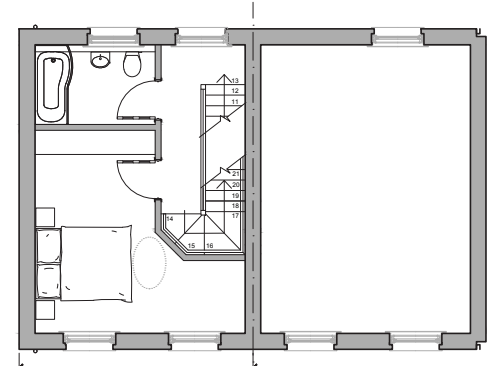
Semi-detached or terrace



Ground floor plan



Second floor plan



First floor plan

TWO BED - 2B - CT - 74

This small two bedroom cottage is designed to be used primarily in T4 areas due to its rural character. It may be located in small streets and pedestrian paths and benefits from an edge garden.



Front elevation

T4

Gross Internal Area (GIA)

74 m²

Bedrooms

2

Bathrooms

1 + 1 WC

Height

2 storey

Outbuilding

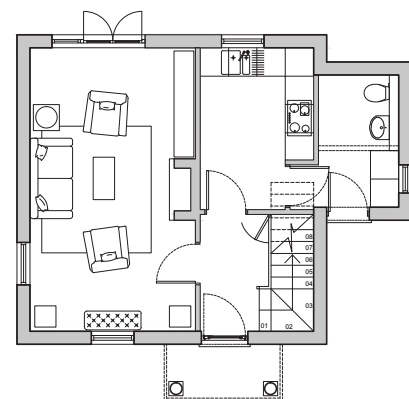
Yes

Frontage

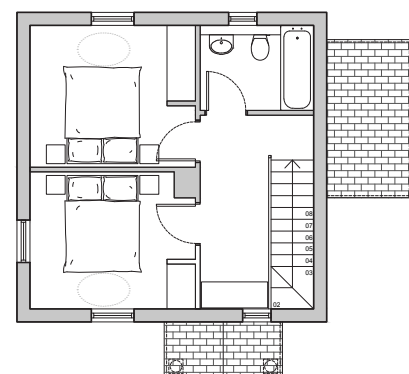
6.5 m

Type

Detached



Ground floor plan



Second floor plan

TWO BED - 2B - CT - 80

This bungalow is specifically designed to be used corner plots, either as a detached, or an end terrace property. Single storey houses like this may be located on small streets or pedestrian paths in T4 rural areas.



Front elevation

T4

Gross Internal Area (GIA)

80 m²

Bedrooms

2

Bathrooms

2 Bathrooms

Height

1 storey

Outbuilding

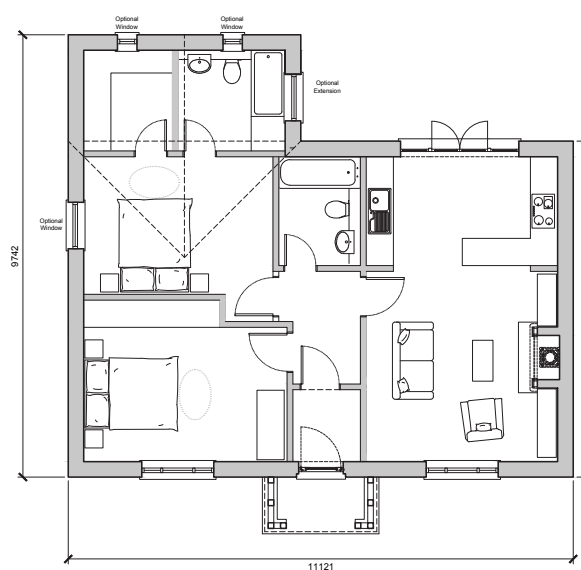
Yes

Frontage

11.1m

Type

Detached, terraced, Semi-detached



Ground floor plan

TWO BED - 2B - MW - 87

This semi-detached single family dwelling is a flexible and diverse building type and the disposition and character vary enormously.

It may be located on small streets, pedestrian paths or shared surfaces and its specifically designed to be attached to the mews unit IB-MW-59, however it may be part of a terrace.



Front elevation

T3/4

Gross Internal Area (GIA)

87 m²

Bedrooms

2

Bathrooms

1 + 1 WC

Height

2.5 storey

Outbuilding

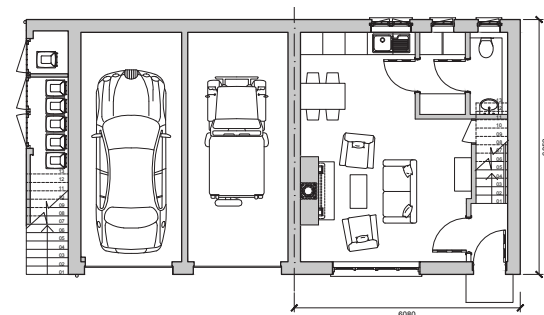
N/A

Frontage

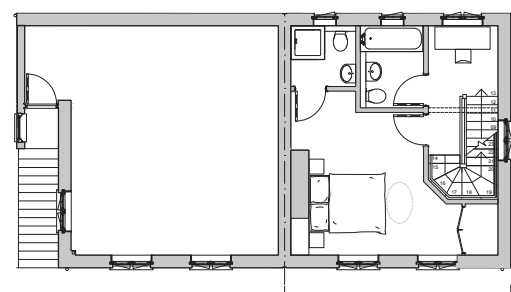
6 m

Type

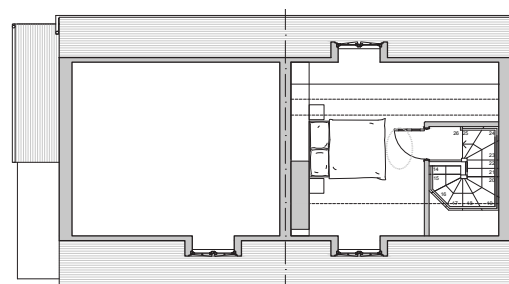
Semi Detached



Ground floor plan



First floor plan



Second floor plan

TWO BED - 2B - MW - 84

This 'coach house' is usually located in the middle of the block and its plot accommodates four parking spaces, two of which are allocated to the adjoining property. It is also designed with a single aspect to avoid overlooking adjoining property. This mews unit is front loaded and may be located in lanes and other shared surface areas.



Front elevation

T3/4

Gross Internal Area (GIA)

84 m²

Bedrooms

2

Bathrooms

1 + 1 WC

Height

2 storey

Outbuilding

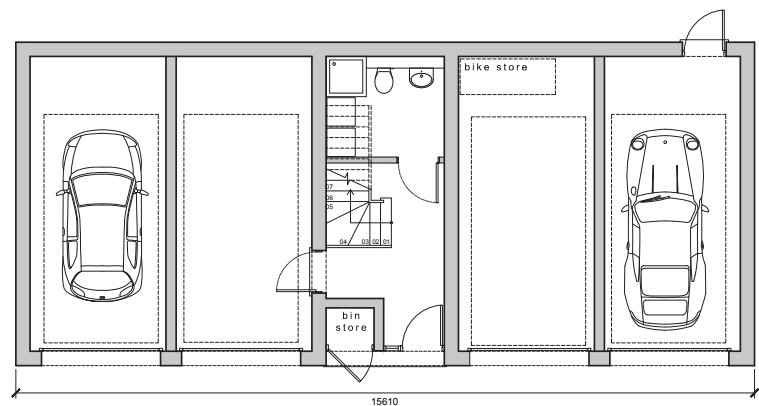
N/A

Frontage

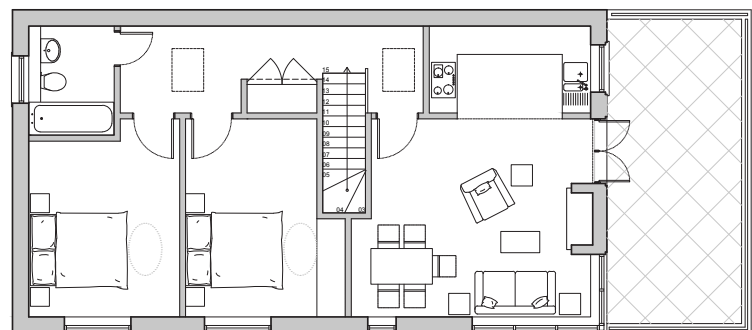
15.6 m

Type

Mews



Ground floor plan



First floor plans

TWO BED - 2B - MW - 98

This two bedroom mews unit is a flexible building type: the disposition and character vary enormously. It is usually located in the middle of the block and is plot accommodate one parking spaces. It may be front loaded when on small streets or on pedestrian paths.



Front elevation

T3/4

Gross Internal Area (GIA)
98 m²

Bedrooms
2

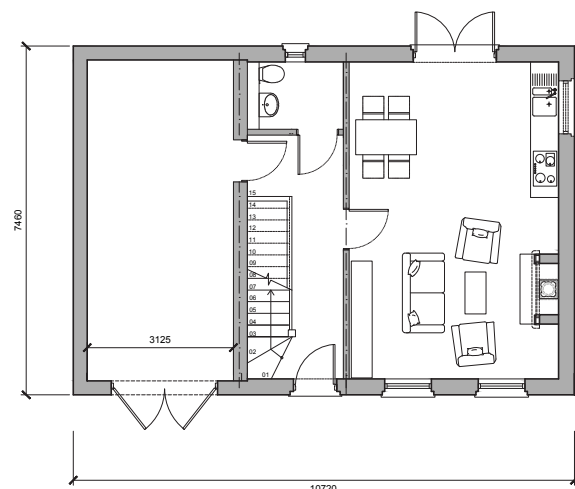
Bathrooms
1 + 1 WC

Height
1.5 storey

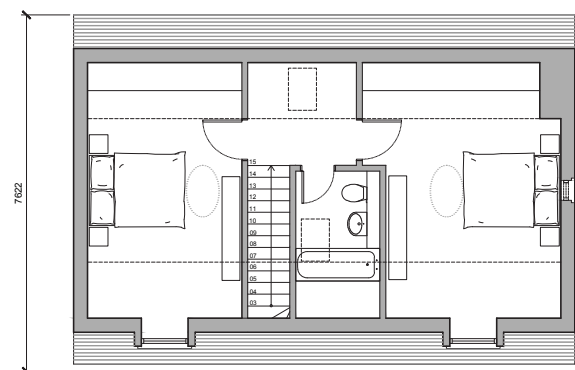
Outbuilding
N/A

Frontage
10.7 m

Type
Mews



Ground floor plan



First floor plan

THREE BED - 3B - TH - 104

This small three bedroom house has been designed as a semi-detached or terrace unit and may be located in T4 and T5 locations.



Front elevation

T4/5

Gross Internal Area (GIA)

104 m²

Bedrooms

3

Bathrooms

1 + 1 WC

Height

2 storey

Outbuilding

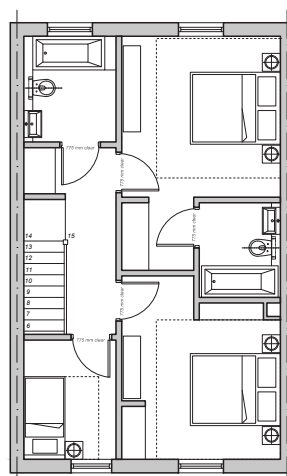
Yes

Frontage

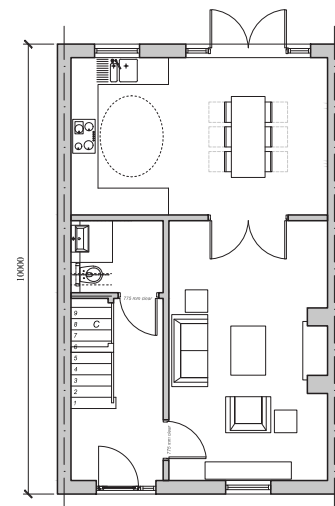
6 m

Type

Terrace



First floor plan



Ground floor plan



This house type can be grouped to form terraced streets

THREE BED - 3B - H - 107

This is a versatile double fronted single family house, since it can be used in a detached, semi-detached and terraced setting. It provides a strong frontage on residential streets and it is good for shallow plots because of its reduced depth. When built with an attic truss the roof space provides future expansion for additional bedrooms.



Front elevation

T3/4

Gross Internal Area (GIA)
107 m²

Bedrooms
3

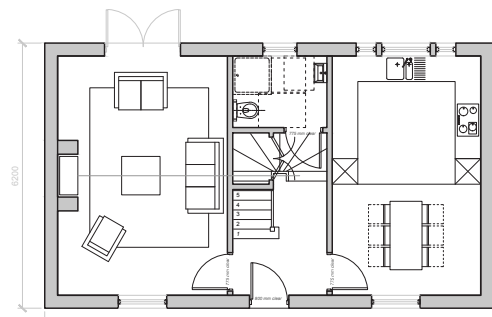
Bathrooms
2 + 1 WC

Height
2 storey

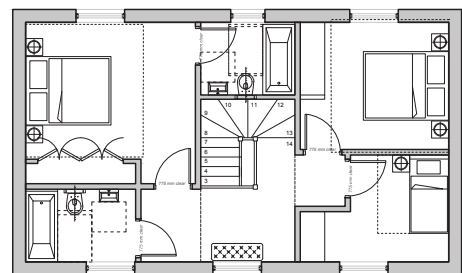
Outbuilding
Yes

Frontage
10.5m

Type
Detached, semi-detached, terrace



Ground floor plan



First floor plan

THREE BED - 3B - CT - 109

This three bed family house, can be used in a detached, semi-detached and terraced setting. This dwelling can also be used in rural T4 and T5 areas.



Front elevation

T3/4

Gross Internal Area (GIA)

109 m²

Bedrooms

3

Bathrooms

1 + 1 WC

Height

1.5 storey

Outbuilding

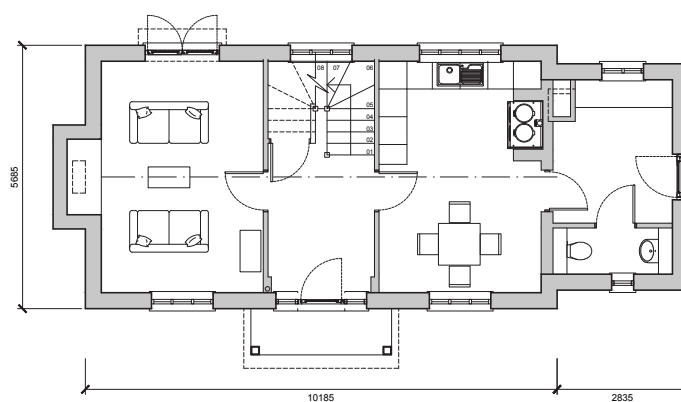
Yes

Frontage

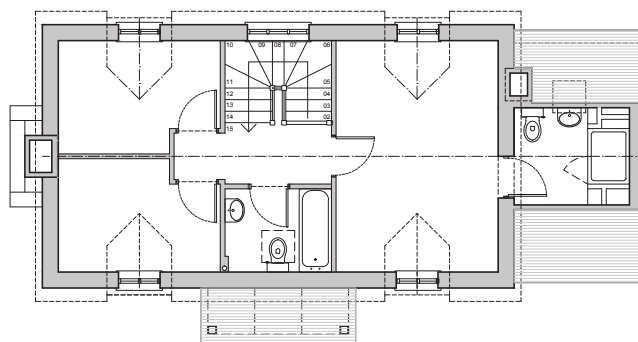
10.2 m

Type

Cottage



Ground floor plan



First Floor plan

THREE BED - 3B - TH - 118

This is a family three bed house which is suitable for T3 and T4 areas. This property has side access and requires a wider site.



Front elevation

T3/4

Gross Internal Area (GIA)
118 m²

Bedrooms
3

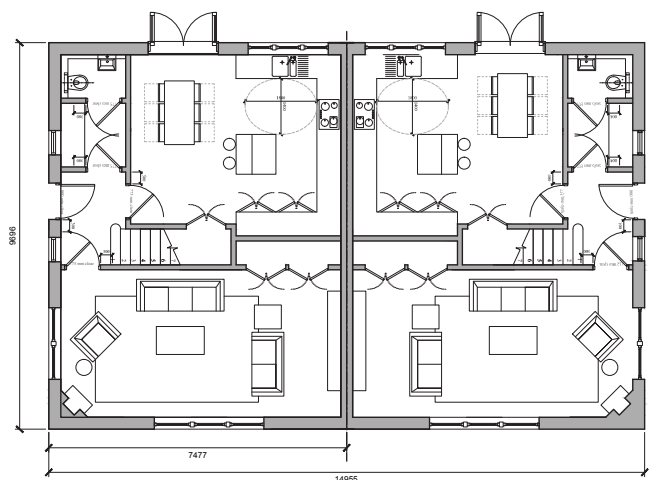
Bathrooms
1 + 1 WC

Height
2 storey

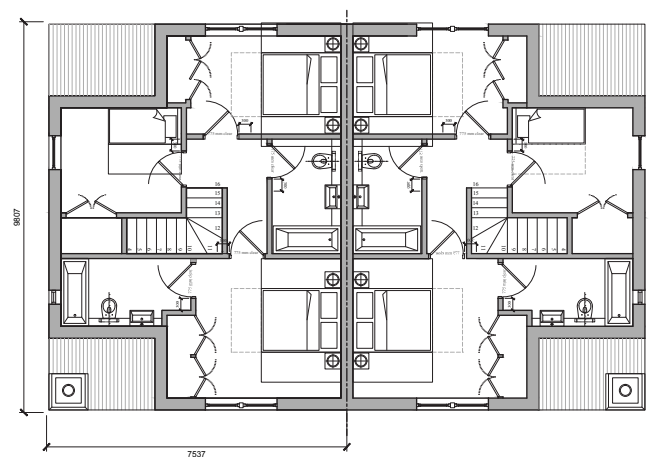
Outbuilding
Yes

Frontage
15 m

Type
Semi Detached



Ground floor plan



First floor plan

THREE BED - 3B - H - 122

This is a further double fronted family house, which can be used in a detached, semi-detached and terraced setting. It provides a strong frontage on residential streets and it is good for shallow plots because of its reduced depth. When built with an attic truss the roof space provides future expansion for additional bedrooms.



Front elevation

T3/4

Gross Internal Area (GIA)

122 m²

Bedrooms

3

Bathrooms

2 + 1 WC

Height

2 storey

Outbuilding

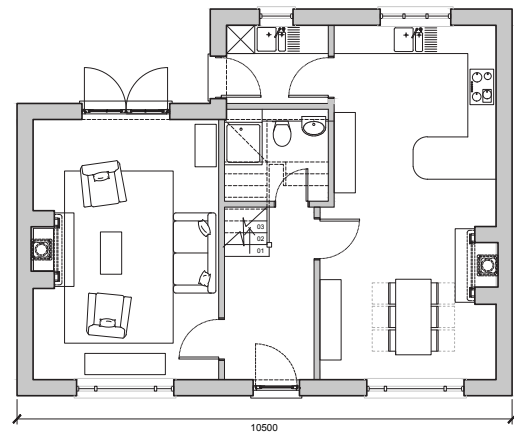
Yes

Frontage

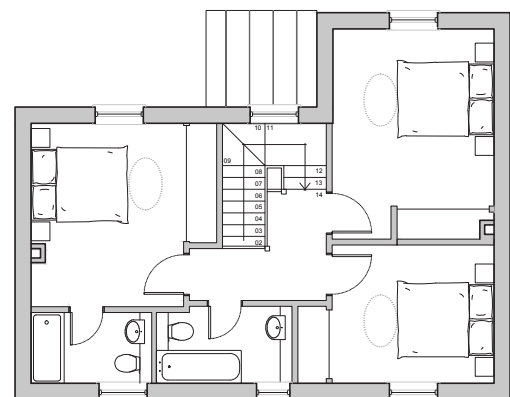
10.5 m

Type

Semi Detached



Ground floor plan



First floor plan

THREE BED - 3B - SD - 144

This single family three bed house is a flexible type, it can be used in detached, semi-detached and terraced forms house and can be located in both rural and urban settings. The size of the openings and front facade materials can vary depending upon on location.



Front elevation

T3/4

Gross Internal Area (GIA)
144 m²

Bedrooms
3

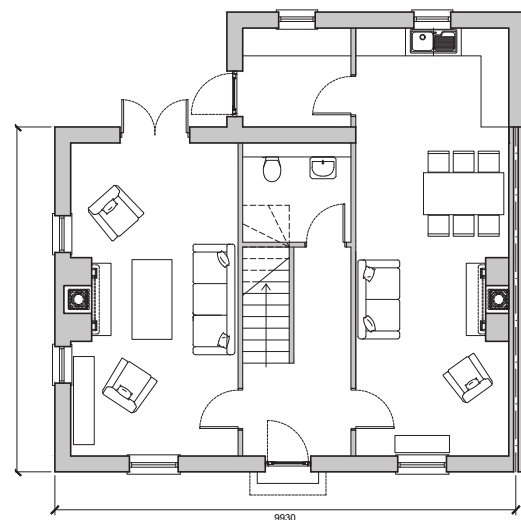
Bathrooms
2 + 1 WC

Height
2 storey

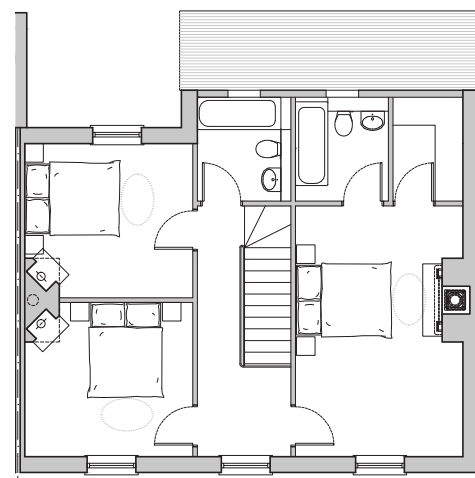
Outbuilding
Yes

Frontage
9.93m

Type
Terrace, Semi-detached, detached



Ground floor plan



First floor plan

THREE BED - 3B - H - 125

This three bedroom single family house is ideal for corner plots with edge gardens. It is designed to be used in the rural edge and is usually found in T3 and T4 areas.



Front elevation

T3/4

Gross Internal Area (GIA)
125 m²

Bedrooms
3

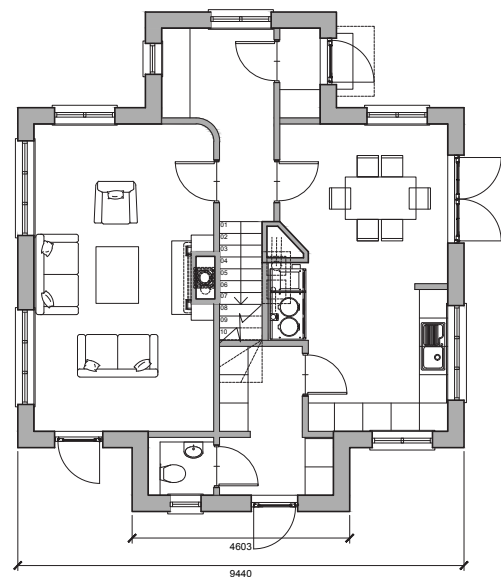
Bathrooms
2 + 1 WC

Height
2 storey

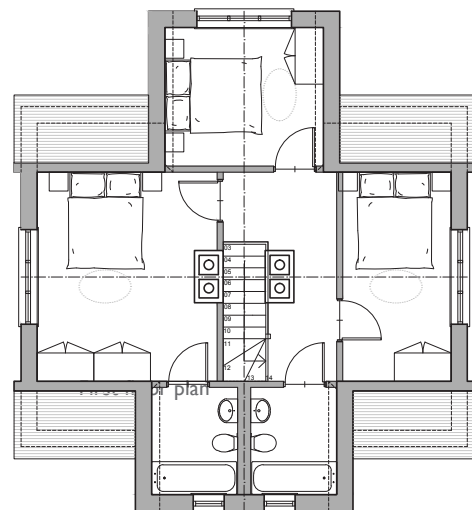
Outbuilding
Yes

Frontage
9.4m

Type
Detached



Ground floor plan



First floor plan

THREE BED - 3B - SD - 134

This large single family dwelling has been designed as a semi-detached unit, however it can also be used as a terrace in T4 and T5 areas.



Front elevation

T4/5

Gross Internal Area (GIA)

134 m²

Bedrooms

3

Bathrooms

2 + 1 WC

Height

2 storey

Outbuilding

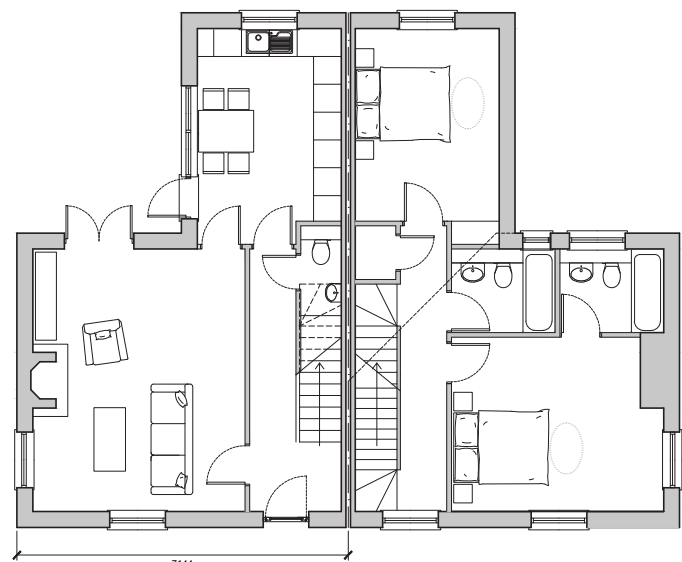
Yes

Frontage

7.15m

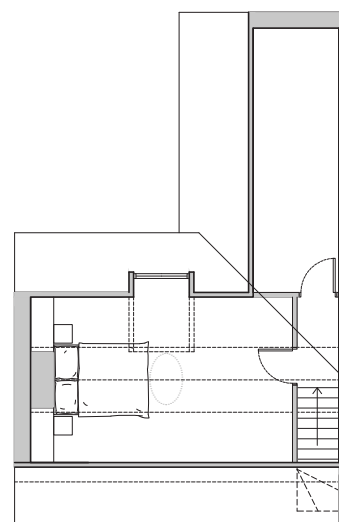
Type

Terrace, semi-detached



Ground floor plan

First floor plan



Second floor plan

THREE BED - 3B - SD - 136

This standard three bedroom house has been designed as a semi-detached or terrace unit and may be located in T4 and T5 locations.



Front elevation

T4/5

Gross Internal Area (GIA)
136 m²

Bedrooms
3

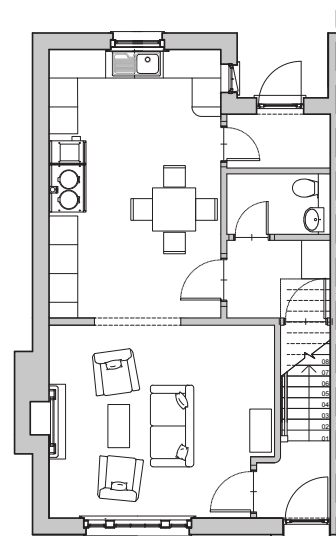
Bathrooms
1 + 1 WC + 1 Ensuite Shower room

Height
2.5 storey

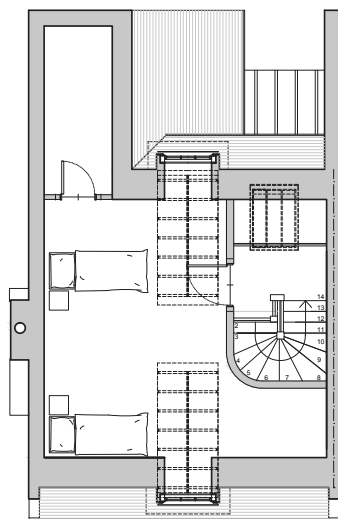
Outbuilding
Yes

Frontage
6.3m

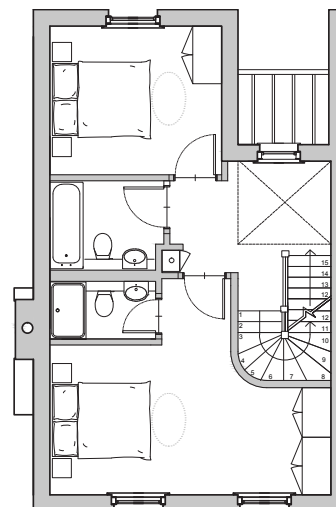
Type
Terrace, semi-detached



Ground floor plan



Second floor plan



First floor plans

THREE BED - SD - 157

This standard three bedroom house has been designed as a semi-detached or terrace unit and may be located in T4 and T5 locations.



Front elevation

T4/5

Gross Internal Area (GIA)
157 m²

Bedrooms
3

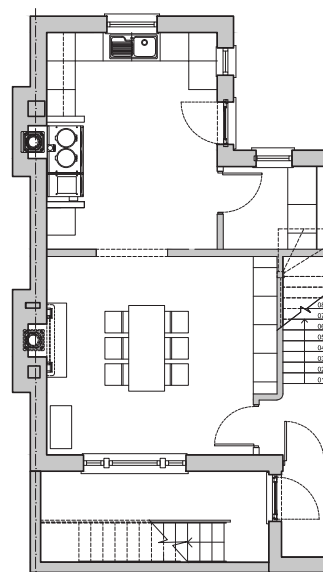
Bathrooms
2 + 1 WC

Height
2.5 storey

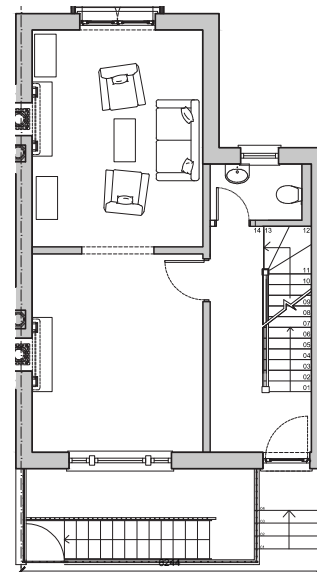
Outbuilding
Yes

Frontage
6.3 m

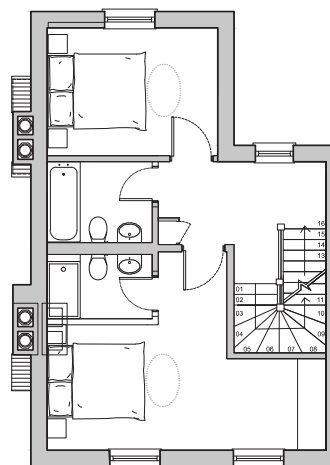
Type
Terraced



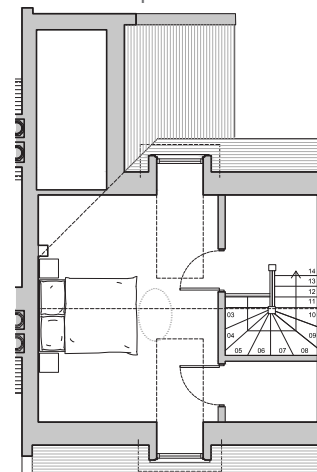
Basement floor plan



Ground floor plan



First floor plan



Second floor plan

FOUR BED - 4B - H - 149

Designed as a detached single family dwelling this property can be used as semi-detached or terraced property in a variety of locations.

It may be situated in the rural edge and larger plots and it should be used in T3 or T4 locations. The optional conservatory is encouraged in corner conditions when privacy is required in the rear garden. Optional side windows can be used in corner sites.

T3/4

Gross Internal Area (GIA)
149 m²

Bedrooms
4

Bathrooms
2 + 1 en-suite

Height
2 storey

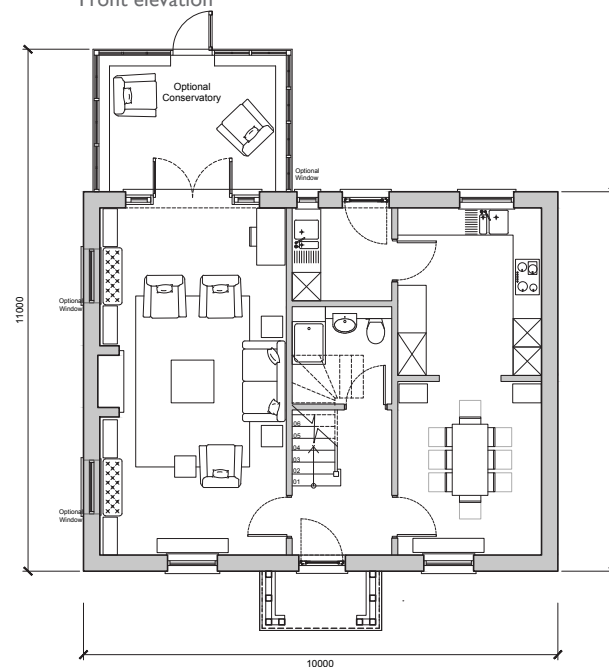
Outbuilding
Yes

Frontage
10 m

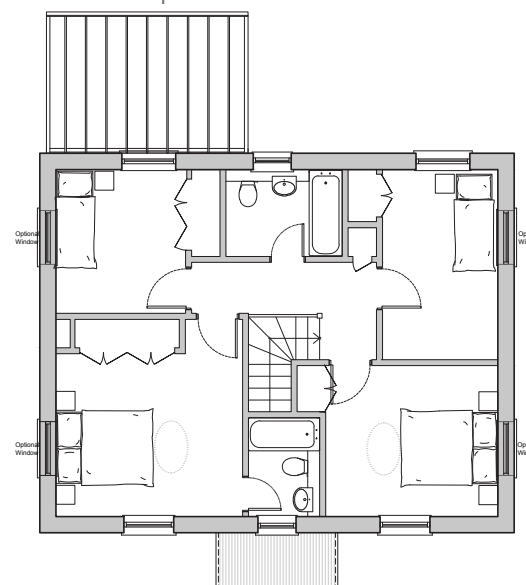
Type
Detached, Semi-detached



Front elevation



Ground floor plan



First floor plan

FOUR BED - 4B - H - 143

Designed as a detached single family dwelling this property can be constructed as either a semi-detached or terraced property in locations.

It may be situated in the rural edge and for larger plots and it should be used in T3 or T4 areas. The optional conservatory is encouraged in corner conditions when privacy is required in the rear garden. Optional side windows can also be used in corner sites.



Front elevation

T3/4

Gross Internal Area (GIA)

143 m²

Bedrooms

4

Bathrooms

2 + 1 WC

Height

2.5 storey

Outbuilding

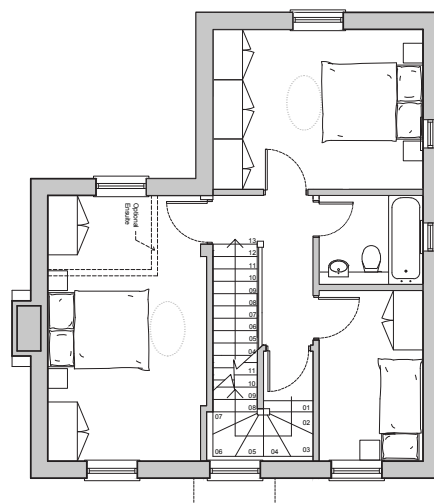
Yes

Frontage

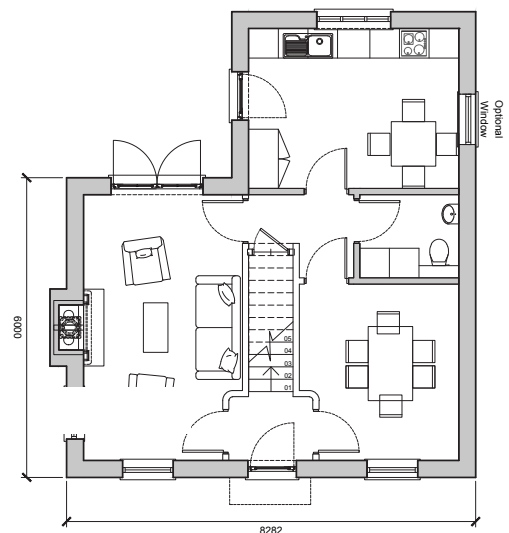
8.3 m

Type

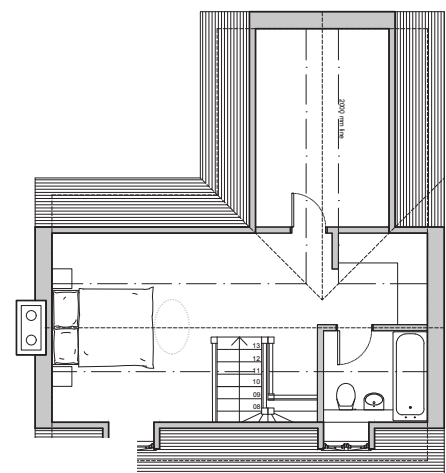
Semi Detached



Ground floor plan



First floor plan



Second floor plan

FOUR BED - 4B - TH - 141

This large formal single family dwelling is designed as a terraced or semi-detached property. It may be located in T4 and T5 areas and used in urban settings helping to create formal squares and crescents. In end of terrace situations, additional side windows should be provided.

T4/5

Gross Internal Area (GIA)

141 m²

Bedrooms

4

Bathrooms

1 + 1 WC + 1 en-suite

Height

2 storey

Outbuilding

Yes

Frontage

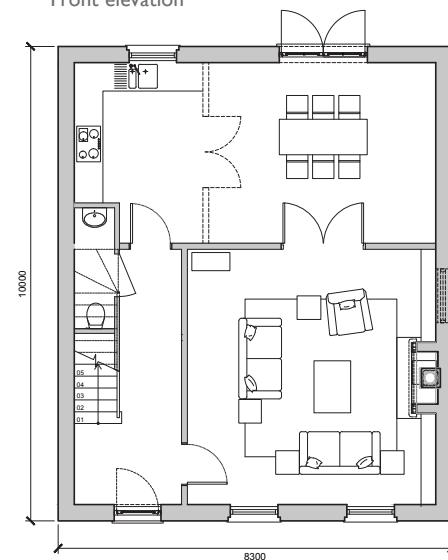
8.0m

Type

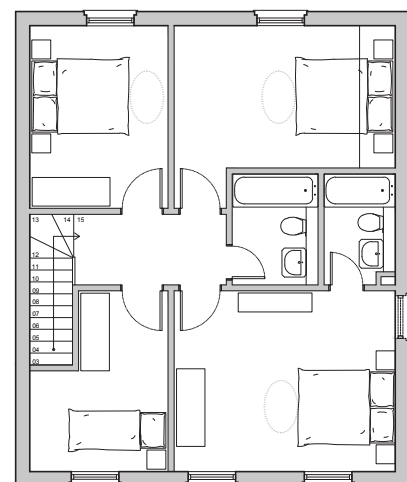
Terraced or Semi-detached



Front elevation



Ground floor plan



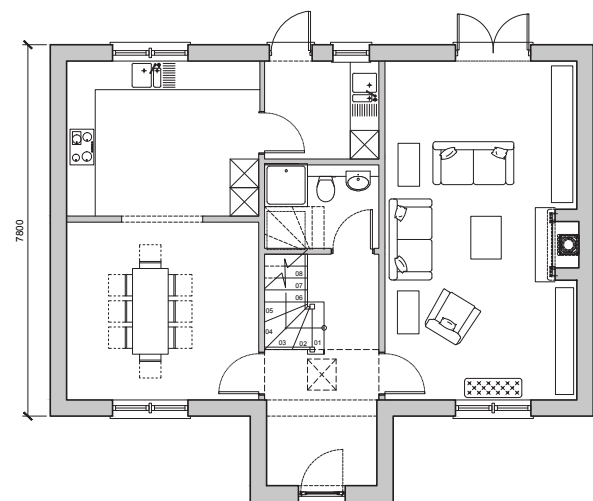
First floor plan

FOUR BED - 4B - H - 152

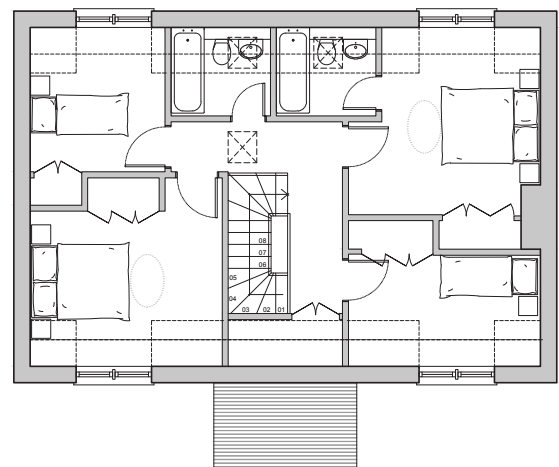
This four bedroom medium sized single family dwelling is designed for T4 and T5 areas and can be constructed in detached and semi-detached or terraced forms.



Front elevation



Ground floor plans



First floor plans

T3/4

Gross Internal Area (GIA)

152 m²

Bedrooms

4

Bathrooms

2 + 1 WC

Height

1.5 storey

Outbuilding

Yes

Frontage

8 m

Type

Semi-detached

FOUR BED - 4B - H - 155

This is a large family dwelling, designed as a detached unit but may be used as a semi-detached or terraced property. It is a flexible unit designed for T3 and T4 areas. In end of terrace situations, additional windows should be provided in the side gable.

T3/4

Gross Internal Area (GIA)
154.6m²

Bedrooms
4

Bathrooms
2 + 1 WC

Height
2 storey

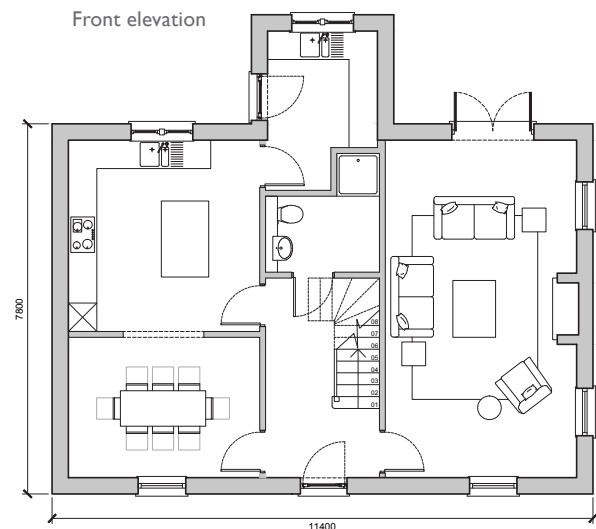
Outbuilding
Yes

Frontage
11.4 m

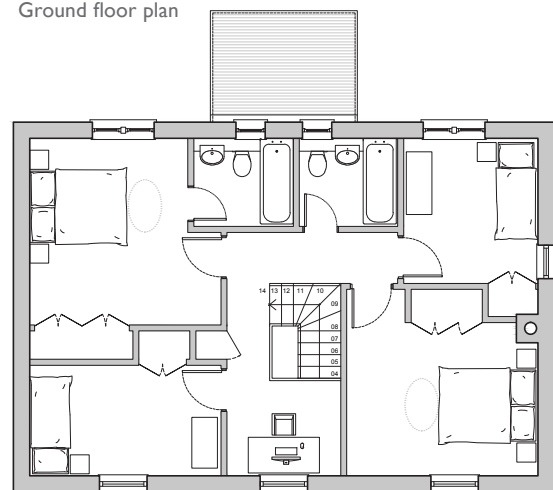
Type
Detached, Semi-detached and terrace



Front elevation



Ground floor plan



First floor plan

FIVE BED - 5B - H - 172

This large family dwelling is designed to be used as detached and or semi-detached property in some circumstances.

It should be located on larger plots with deep setbacks in the rural edge, including T3 and T4 locations.

The side study is designed to be converted into a bedroom with ensuite to comply with lifetime homes criteria.

T3/4

Gross Internal Area (GIA)

172 m² with optional study

Bedrooms

5

Bathrooms

3 + 1 WC

Height

2 storey

Outbuilding

Yes

Frontage

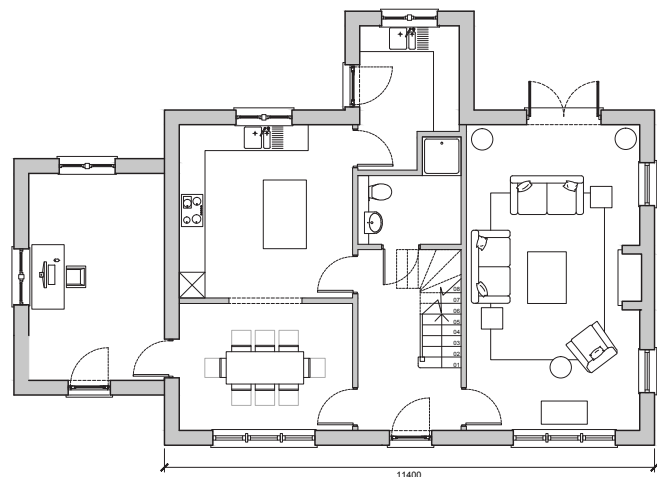
11.4 m

Type

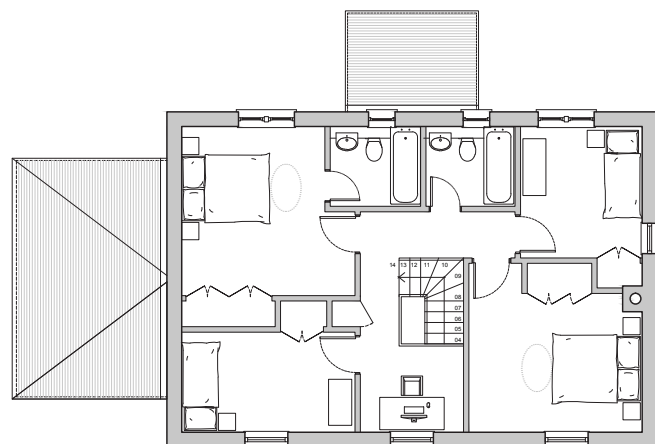
Detached, Semi-detached



Front elevation



Ground floor plan



Second floor plan

FIVE BED - 5B - H - 186

This is a large family dwelling, designed as a detached unit but it may equally be adapted and used as a semi-detached or terraced property. It is a flexible unit designed for T3 and T4 zones. In end of terrace situations, additional windows should be provided in the side gable.

T3/4

Gross Internal Area (GIA)

186 m²

Bedrooms

5

Bathrooms

3 + 1 WC

Height

2 storey

Outbuilding

Yes

Frontage

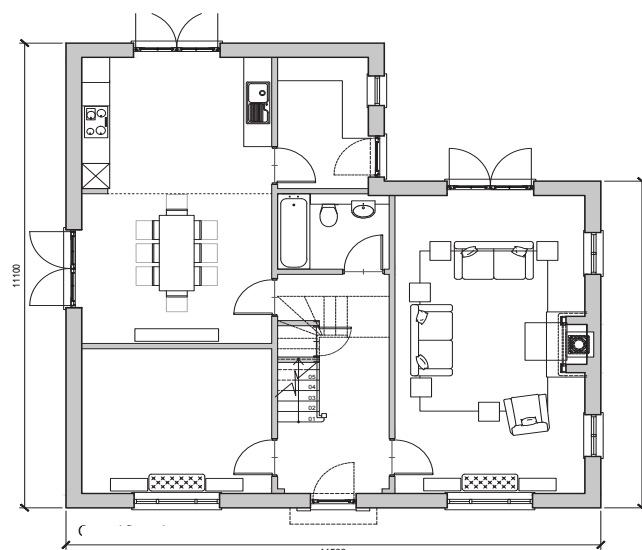
11.5m

Type

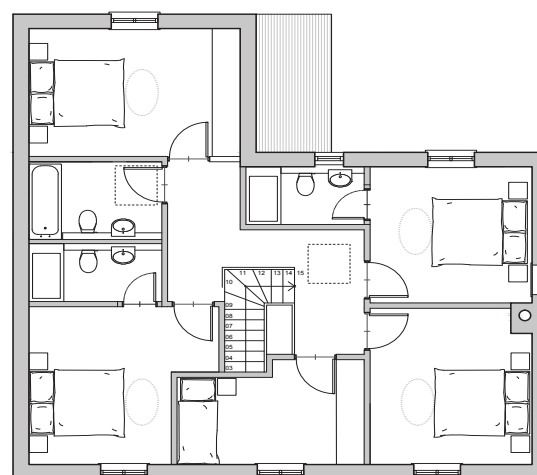
Detached



Front elevation



Ground floor plan



First floor plan

FIVE BED - 5B - H - 231

This large single family house is designed specifically for T3 locations, on large plots and in the rural edge of the development. It's ideal for corner plots, edge gardens and deep setbacks.



Front elevation

T3

Gross Internal Area (GIA)
231.4 m²

Bedrooms
5

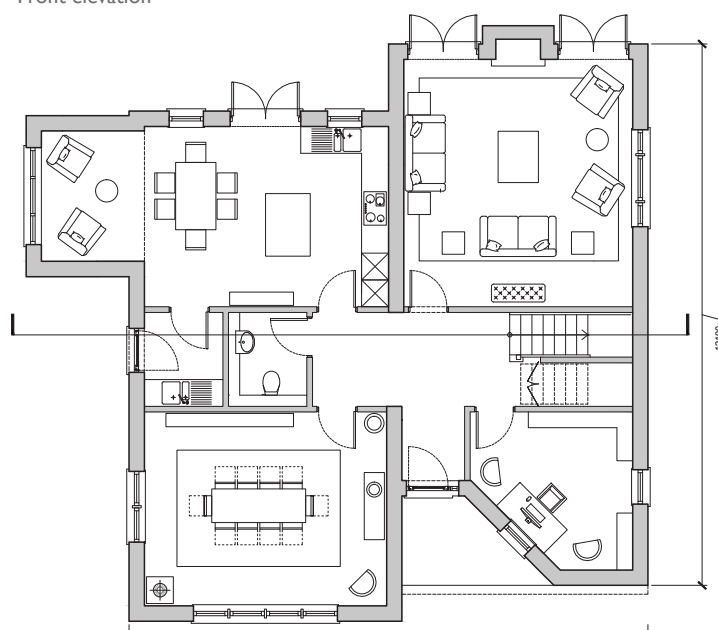
Bathrooms
3 + 1 WC

Height
2 storey

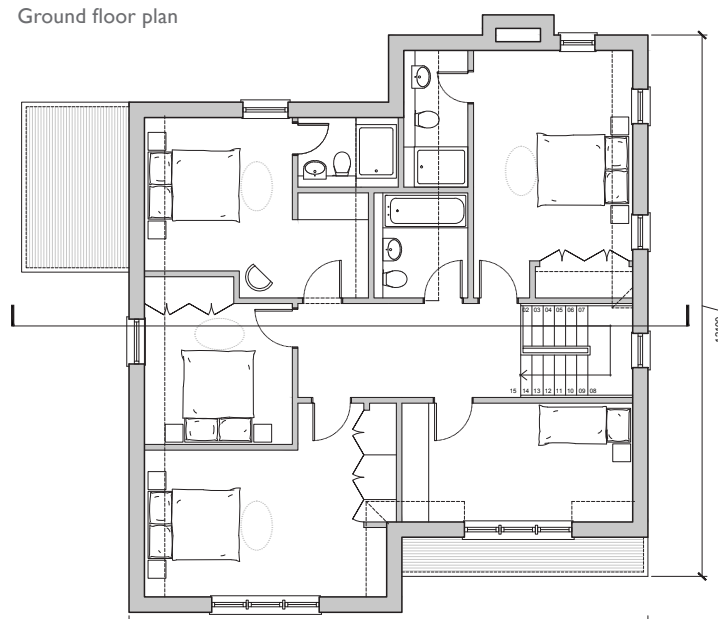
Outbuilding
Yes

Frontage
11.6 m

Type
Detached



Ground floor plan



First floor plan

APARTMENTS & LINER BUILDINGS

All of Gascoyne's strategic sites are envisaged as proper mixed use settlements offering or a variety of accommodation. Apartments and liner buildings provide opportunities to provide good quality residential units above retail and commercial premises. The volume of these buildings allow for the creation of good quality streetscapes whilst also providing screening to secondary streets and mews.

TYPICAL 1 BED FLAT

Gross Internal Area (GIA)

54 m²

Bedrooms

1

Bathrooms

1

Height

1 storey

Outbuilding

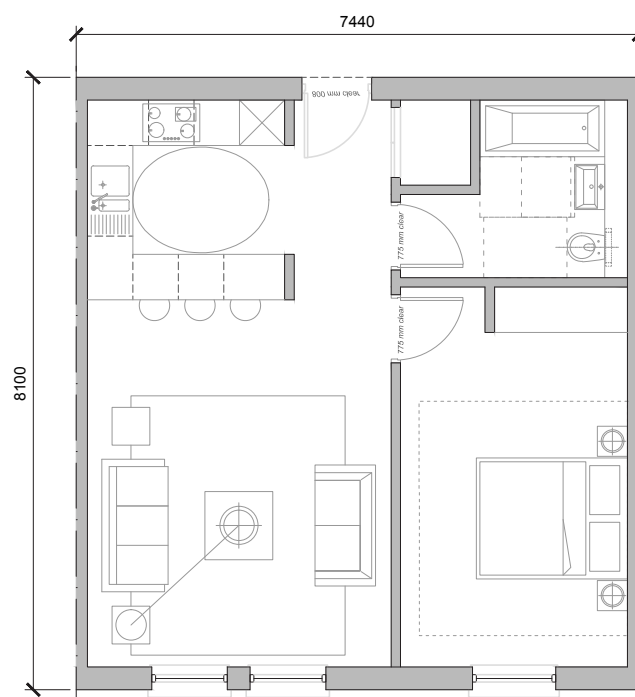
N/A

Frontage

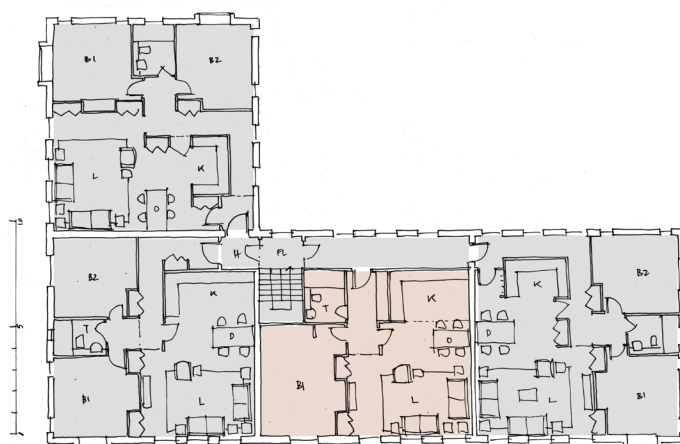
7.4 m

Type

Flat



Ground floor plan



TYPICAL 2 BED FLAT

Gross Internal Area (GIA)
79m²

Bedrooms
2

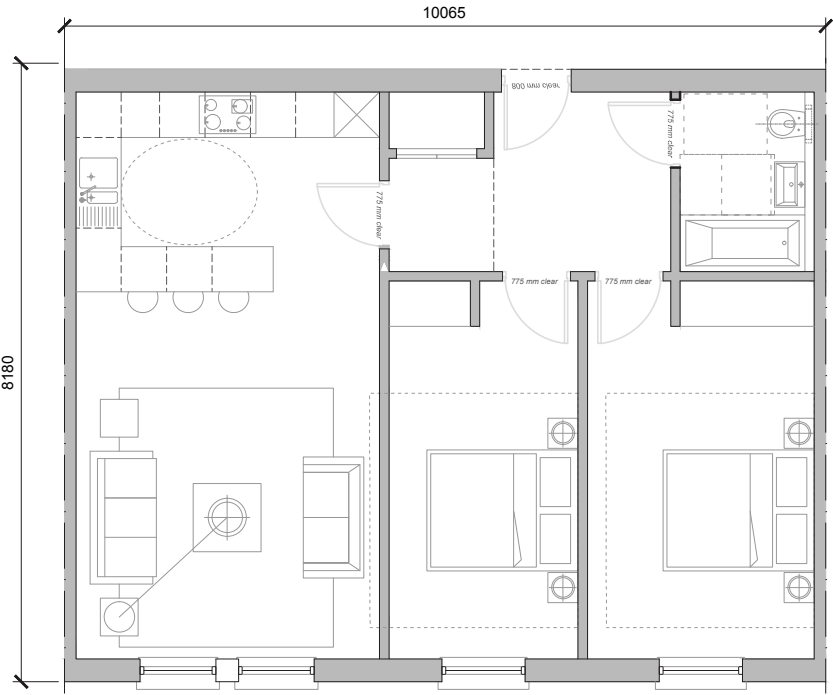
Bathrooms
1

Height
1 storey

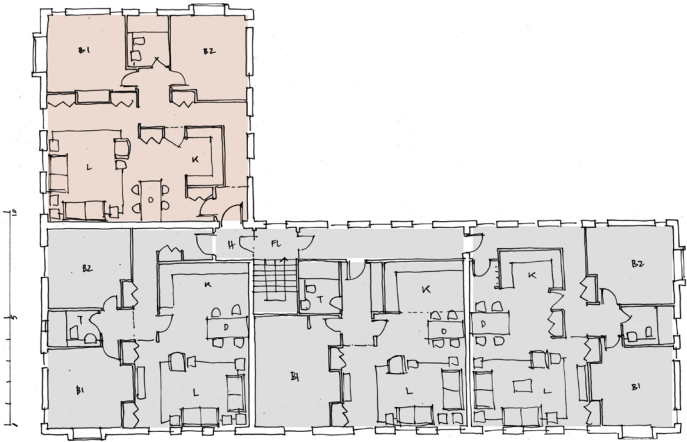
Outbuilding
N/A

Frontage
10m

Type
Flat



Ground floor plan



TYPICAL 3 BED FLAT

Gross Internal Area (GIA)
104m²

Bedrooms
3

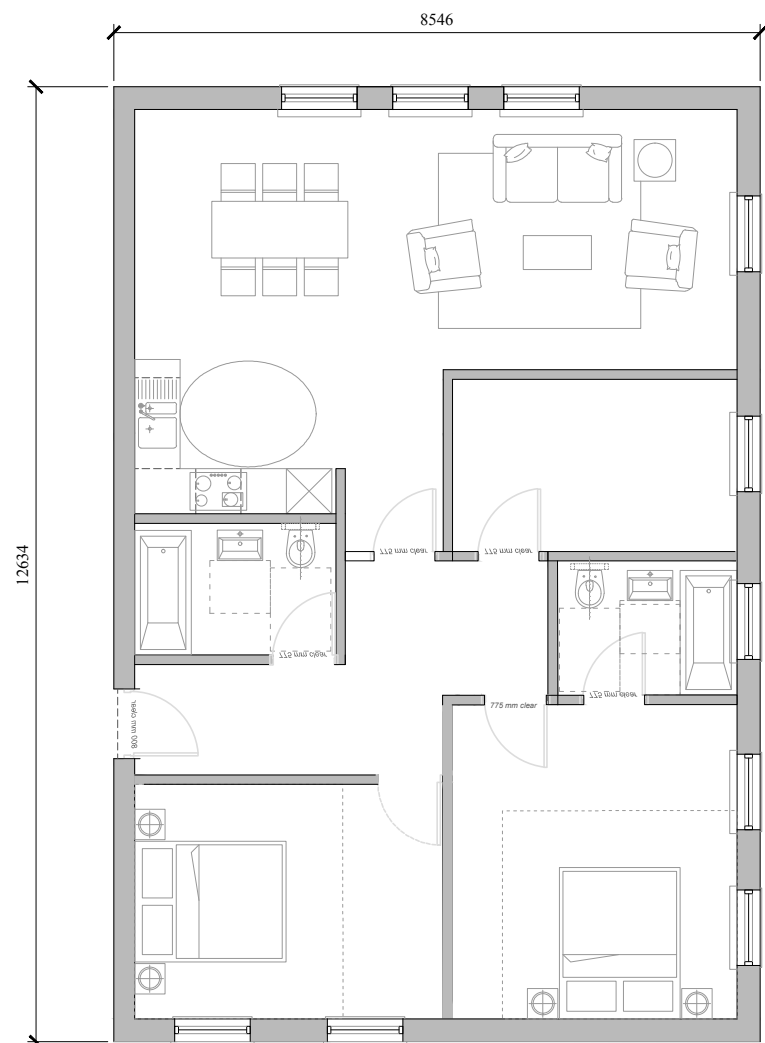
Bathrooms
1

Height
1 storey

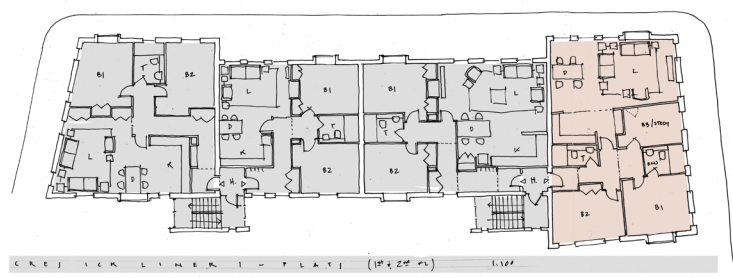
Outbuilding
N/A

Frontage
12.6m

Type
Flat



Ground floor plan



6.

MATERIALS AND COMPONENTS

Each site has been designed to draw upon the historic precedents in Hertfordshire in terms of urban form, architecture and building materials. Accordingly, the most prominent materials used echo those found in nearby historic towns and villages. The following paragraphs summarise detailed elements. Further details can be found within individual Gascoyne Design Codes.

Key elements can be summarised as follows:

External Walls of Buildings

The local traditions of the Hertfordshire area include walls of many different kinds. This section outlines ways in which new walls can continue these local traditions.

Windows and Doors

The quality of a building elevation owes much to the correct proportioning and detailed design of doors and windows. These guidelines are intended to assist in achieving an aesthetically pleasing design and finish appropriate to the character of new developments.

Building and Subsidiary Elements

The guidelines in this section are intended to ensure that the most visible subsidiary elements are correctly proportioned and reflect their true purpose.

Gardens, Garden Walls and Fences

The guidelines in this section are intended to ensure that the most visible subsidiary elements are correctly proportioned and reflect their true purpose.

EXTERNAL WALL MATERIALS

External Building Walls

External walls of all buildings, including outbuildings, garages and boundary walls, etc. shall be constructed in either:-

1. Bricks of types and colours agreed with Gascoyne Cecil Estates. Red Brick (generally handmade) or stock bricks should be used with some black headers.

Bricks should be laid in English or Flemish bond. Where a ½ brick facing is used in cavity construction, purpose made snap headers or mechanically cut bricks must be used. Special bricks are required for odd angled corners.

Stone quoins or cappings are appropriate. Quoins should be random in size though measuring vertically in multiples of 75 mm where they are to be used with brickwork.

2. External building walls may be built using appropriate combinations of banded stone and brickwork, or brick and flint in panels or bands, or bands of different stone. Knapped work is appropriate only in the most important buildings in the streetscape.

Door and window reveals in brick walls may be rendered in a smooth finish and painted white or off white in more important buildings. The imaginative use of headers coloured differently from stretchers in brickwork or chequer work with stone and brick or flint might be considered where suitable.

3. Where airbricks are essential to satisfy Building Regulations, these shall be of terracotta, built tile, painted cast iron or unpainted drilled stone.

4. Mortar mixes shall be to the approval of Gascoyne Cecil Estate. Sample panels will be required. Joints should be flush pointed as work proceeds. Mortar joints should not be weather struck, raked, concave or ribbon. Penny struck joints might be used on the more important buildings. Whilst not always feasible, the use

of lime mortar in new brickwork will be encouraged.

5. Where new bricks are proposed, selection should be carefully undertaken and efforts made to blend colour and texture with that of neighbouring buildings. Second hand imperial bricks should be considered for certain applications, especially extensions or alterations to period buildings.

Self coloured renders and paints for rendered walls are to be of types and colours agreed with Gascoyne Cecil Estates.

6. Outbuildings should generally be timber framed and clad with weather-boarding.

Traditionally, however, the outbuildings of less important dwellings are frequently built of whatever comes to hand. This provides an opportunity to introduce a charming variety of materials.

Weatherboard cladding should comprise sawn featheredged boards with minimum dimensions of 200mm x 32mm.



MATERIALS



BUILDING COMPONENTS

Roof and Chimneys

Good quality roof coverings, typically natural slate or plain clay tiles, are a key component to a successful scheme and shall be to the Gascoyne Cecil Estates's approval. In certain rural locations, and subject to approval, pan tiles maybe also be appropriate. Synthetic slate and concrete tiles are not permitted.

Chimneys should generally be constructed from brick and rise generously above ridge lines. Chimney pots are available in a variety of sizes and forms and should be chosen carefully in the context of their surroundings.



Windows and Doors

Except where leaded lights in iron casements are used in hardwood timber frames, windows and doors shall be built entirely of timber and painted. Casements should close within the frame rather than over the frame in all windows visible from the street and/or the front elevation.



Building and subsidiary elements

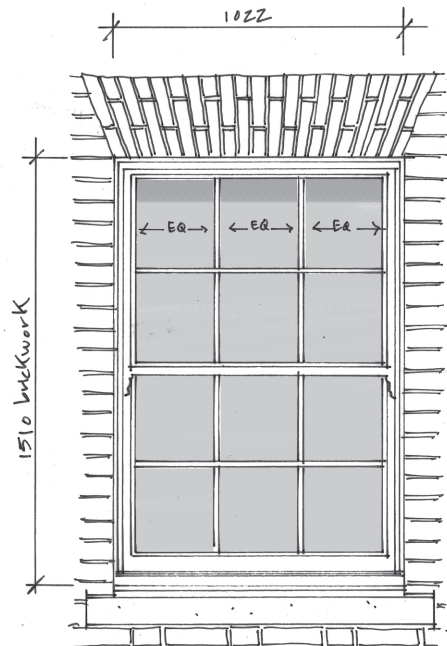
1. Columns, piers and brackets should be of hardwood or treated timber, stone, brick, cast iron or reconstituted stone subject to individual approval.

2. Balconies shall be of stone or hardwood with railings of cast or wrought iron of a pattern to be approved by Gascoyne Cecil Estates.

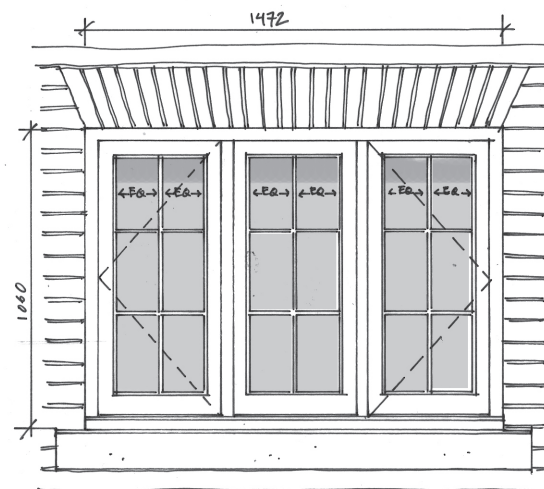
3. Shop fronts shall be built predominantly of wood or of wood and cast iron or aluminium above the plinth. The display window should be integrated with the door and the fascia with a single construction and painted a dark gloss.



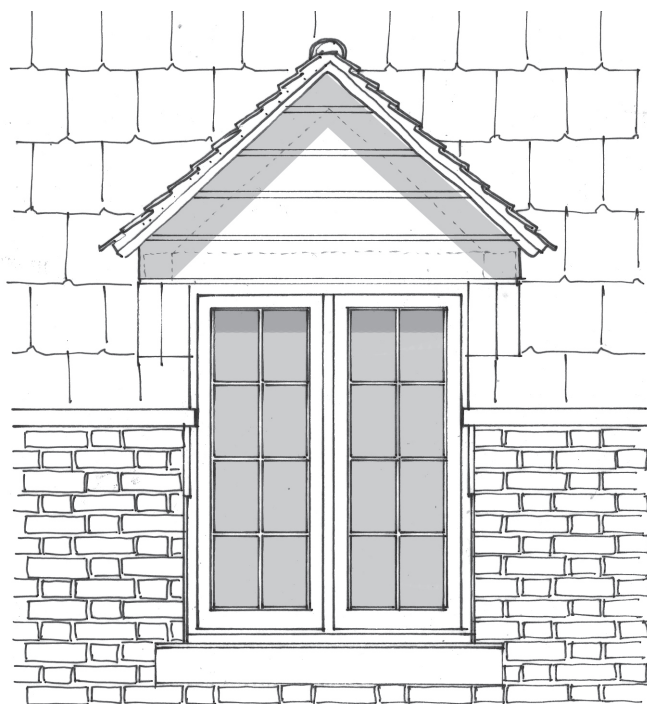
ARCHITECTURAL DETAILS



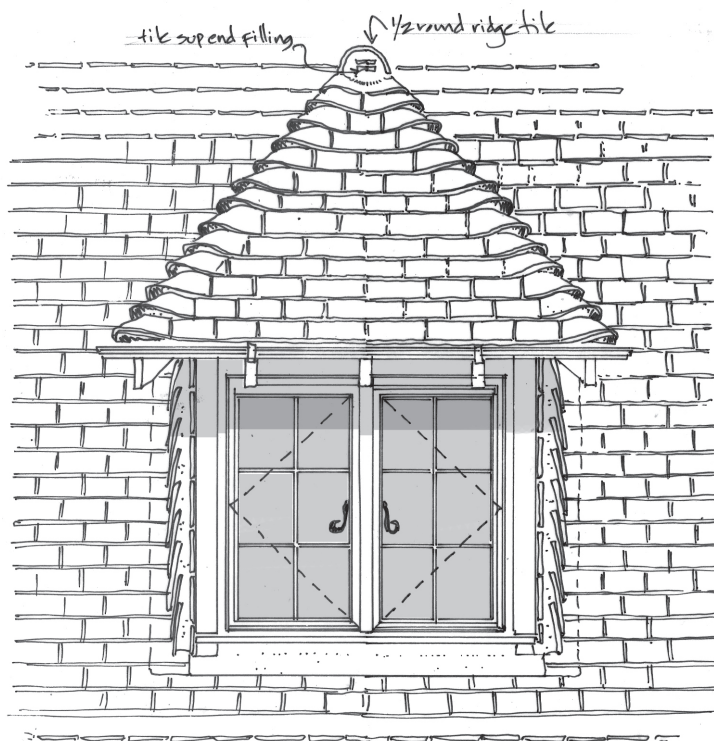
WINDOW TYPE SASH
1:20



WINDOW TYPE CASEMENT
1:20

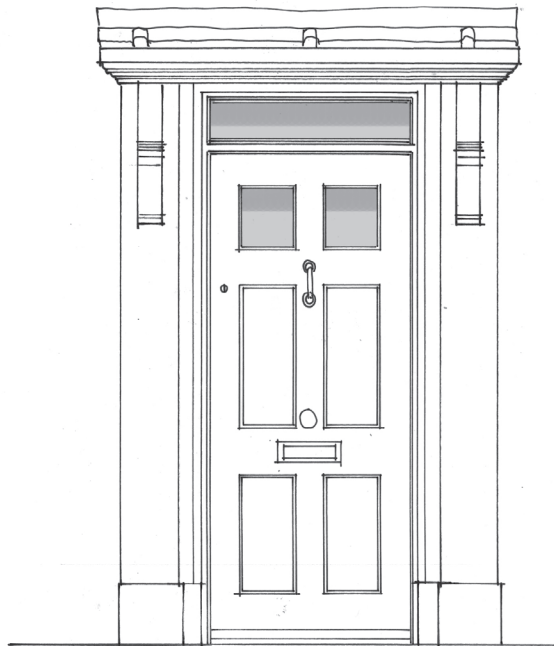


DORMER TYPE
1:20

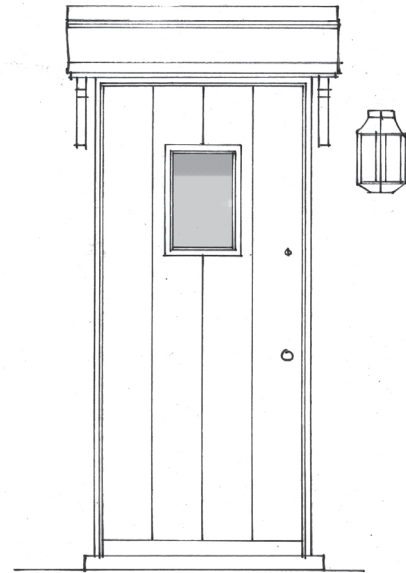


DORMER TYPE
1:20

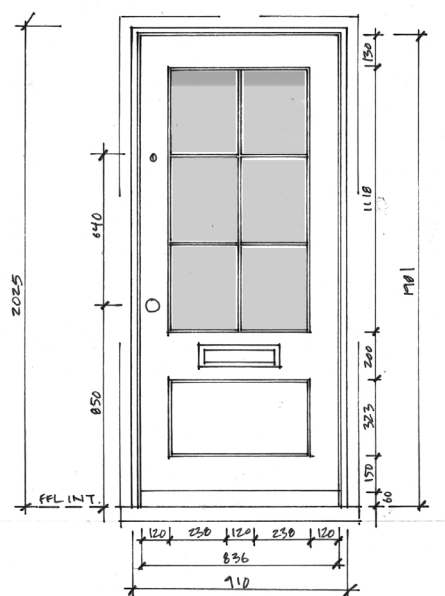
ARCHITECTURAL DETAILS



Front Door

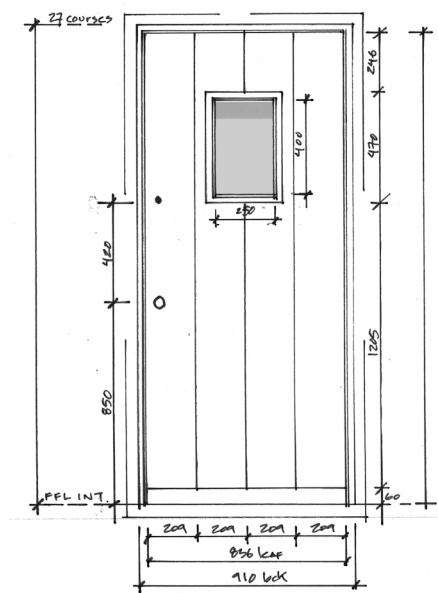


Front Door



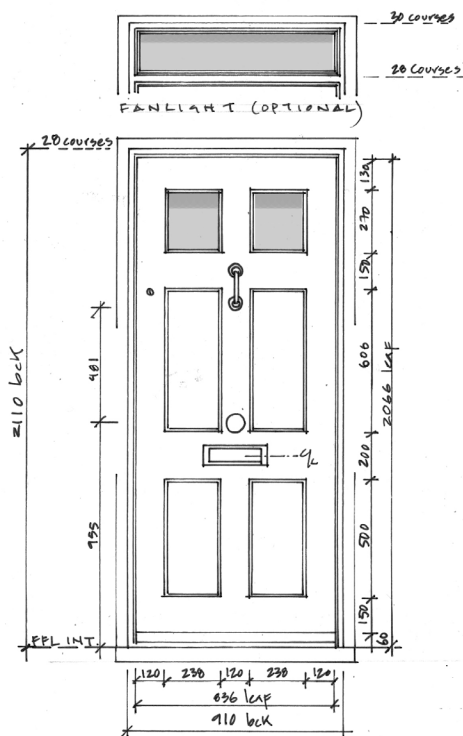
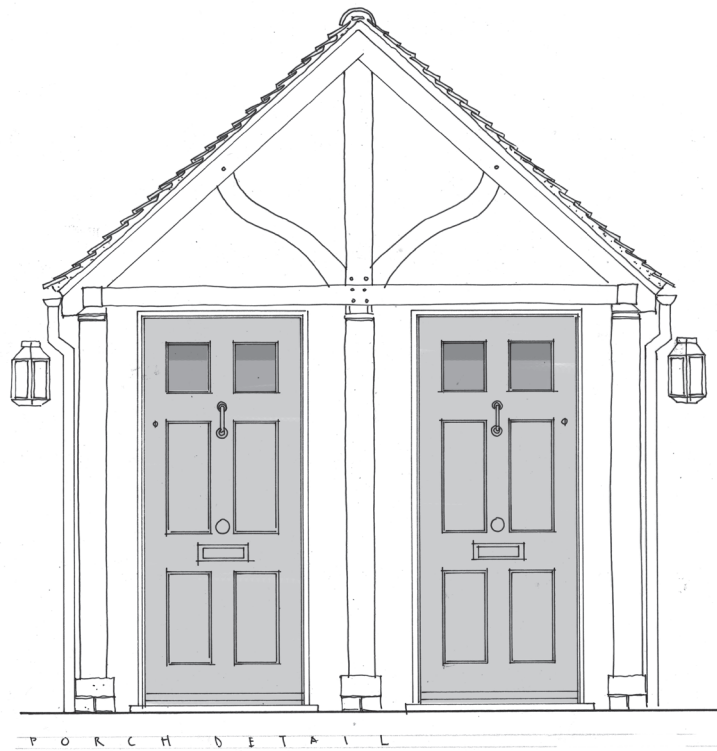
DOOR TYPE

Back Door



DOOR TYPE

Back Door



Front Door and Fan light



Front Door and Fan light



Front Door and Fan light

MATERIALS

External Materials Overview

Bricks of types and colours agreed with Gascoyne Cecil Estates. Red Brick (generally handmade) or stock bricks should be used with some black headers.

Bricks should be laid in English or Flemish bond. Where a $\frac{1}{2}$ brick facing is used in cavity construction, purpose made snap headers or mechanically cut bricks must be used.

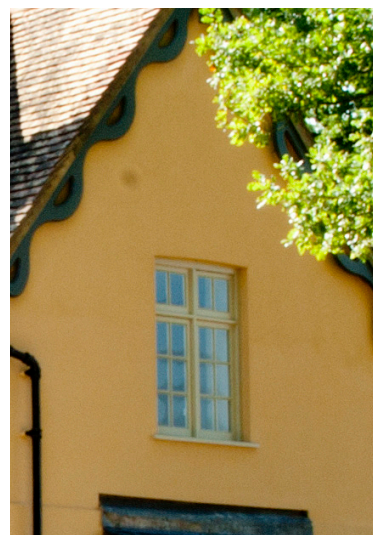
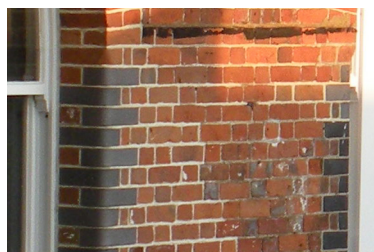
Brick

Bricks of types and colours agreed with Gascoyne Cecil Estates. Red Brick (generally handmade) or stock bricks should be used with some black headers. Bricks should be laid in English or Flemish bond. Where a $\frac{1}{2}$ brick facing is used in cavity construction, purpose made snap headers or mechanically cut bricks must be used. Special bricks are required for odd angled corners.

Other External Materials

External walls may be built using appropriate combinations of banded stone and brickwork, or brick and flint in panels or bands, or bands of different stone.

Brick walls may be painted with lime-tallow wash or mineral paint. The effect of a build-up of limewash over the years giving a softer, more established look may be achieved by the application of a sand and cement slurry to inexpensive brickwork. Samples to be approved by Gascoyne Cecil Estates.



Lintels/ Arches

Lintels should be of load-bearing appearance in stone, brick, flat tiles or timber. Arches can be pre-constructed using SS angle with applied brickwork or stone to Gascoyne Cecil Estates approval. Where brick or stone are used, lintels shall be formed as true arches. Rubbed brick lintels are appropriate only on more important buildings. Rough arches, in various forms (particularly the “justified” rough arch) are suitable in brickwork and should rise through four brick courses. In stone construction, voussoirs should be provided.

Timber (Oak) Lintels

Timber (oak) lintels, typically 150 deep, and with minimum 215 mm bearing on either side of the opening may be used. Use should be made of relieving arches in masonry above timber lintels where loadings dictate. Exceptions are subject to agreement on an individual basis with Gascoyne Cecil Estates.

Outbuildings

Outbuildings should generally be timber framed and clad with weather-boarding.

Brick or Stone copings add interest, both must be detailed correctly and approved by Gascoyne Cecil Estates.



Roof Overview

Roofs should be simple gabled, hipped, half-hipped or mansarded. Abutting single storey roofs may be lean-to. Free standing sheds, garages or outbuildings shall have hipped or gabled roofs. There shall be no flat roofs, except small lead clad valleys and so forth in complex roofs. Dormers and canopies can be incorporated by agreement with Gascoyne Cecil Estates.

Roof Coverings

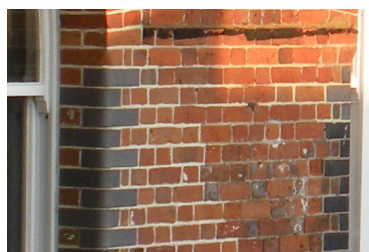
Good quality roof coverings, typically natural slate or plain clay tiles shall be to Gascoyne Cecil Estates approval. In certain rural locations, pan tiles maybe appropriate – subject to GCE approval. Synthetic slate and concrete tiles are not permitted.

Chimneys

The incorporation of chimneys in new designs will be strongly encouraged. Chimneys are not only functional but contribute a vibrancy to local roofscapes and a building's silhouette.

Chimneys should generally be constructed from brick and rise generously above ridge lines. Chimneys should be carefully proportioned so as not to appear unduly short or stout.

Chimney pots are available in a variety of sizes and forms and should be chosen carefully in the context of their surroundings.



Rainwater Goods

Rainwater goods should be in cast iron. Gutters shall generally be half round or ogee in profile. Hopper Boxes on fronts of parapetted houses shall be cast iron or aluminium. All down pipes to be cast iron, painted black.

Where there are no gutters, a French or perforated drain shall be provided at the foot of external building walls, set in a gravel bed approximately 600 mm x 600 mm.

Dormers

Dormers should be carefully designed and built to suit the roof they sit within and the materials used. Needless bulkiness can be avoided by using lead on hips and ridges on hipped dormers. Dormers are invariably of timber construction, unless they rise from the fabric of the main wall of the building. If the dormer roof is gabled rather than hipped the verge should be made disproportionately deep, perhaps 75 or 100 mm to give a deeper shadow, the tile battens running past the line of the gable end.

Conservation Roof Lights

Conservation rooflights may only be used where specifically agreed with the Gascoyne Cecil Estates, and only if positioned well clear of the ridge. Particular attention should be paid to how roof lights sit within the roof line. Use of cheaper varieties of rooflight are discouraged. The size and number of proposed roof lights is a critical aspect of any design.



Window and Door Overview

Except where leaded lights in iron casements are used in hardwood timber frames, windows and doors shall be built entirely of timber and painted. Casements should close within the frame rather than over the frame in all windows visible from the street and/or the front elevation.

Doors

External doors shall be single or pairs and of a pattern approved by GCE. Historical door patterns are only allowed as true imitations in form, construction and proportion. This applies equally to fanlights. Individual garage doors or garden gates shall be no wider than their height, and must not encroach upon the public footway when opened. The maximum allowable width per opening is to be 3 m, No GRP doors will be permitted and all to be panelled or planked to GCE approval. Doors are of various designs included 4 pannelled, 6 pannelled, with Glazing and without.



Window Overview

Windows shall be of the rise and fall sash or side hung casement types. Ground floor windows on the building line shall be of the sash or inward opening casement type. Overall window aperture proportions should normally range from 1:1 to 1:3 (ratio of horizontal to vertical dimension).

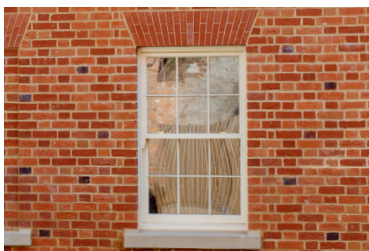
Principal window panes shall approximate to the Golden Mean on a vertical axis. Individual panes in differently proportioned doors and windows should be related in their proportions.

All windows are to be double glazed either with sealed units or by secondary glazing. French doors and window panes below 800 mm above floor level to be provided with laminated safety glass. Extensions or repairs to listed buildings should normally remain as single glazed but careful use of slim line glazing (examples such as slim-lite and Histoglass) may be acceptable.

Windows shall be painted 'off' white, doors dark gloss. A range of suitable can be provided by Gascoyne Cecil Estates upon request.

Bay Window

Bay windows should be habitable spaces carried to the ground. Oriel windows will be a matter for approval by GCE and generally will be permitted only when appropriate to the layout.

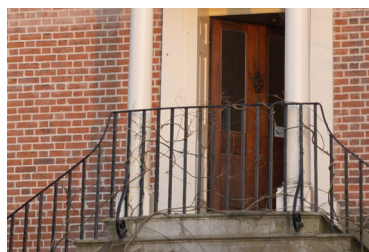


Building Subsidiary Elements

Columns, piers and brackets should be of hardwood or treated timber, stone, brick, cast iron or reconstituted stone to the approval of Gascoyne Cecil Estates. Masonry piers shall be no less than 450 mm thick and built in English or Flemish bond.

Care should be taken to match the size of timber in posts, brackets and so forth with their function. In garages, posts should be not less than 150 mm x 150 mm. On verandas, posts should be slimmer; the appearance of comparative elegance will be enhanced by chamfering corners. Posts and brackets used on domestic buildings should invariably be painted. Elsewhere, there may be a case for the use of black tar varnish, Sadolin or an approved equivalent.

Columns, where appropriate, shall be Doric or Tuscan. Columns, veranda and porch openings shall be a vertical approximation of the Golden mean. Balconies shall be of stone or hardwood with railings of cast or wrought iron of a pattern to be approved by GCE.



VARIATIONS

Although we have provided a variety of house types. We appreciate that certain areas or development partners may seek further variation. In the next few pages we have selected a mews, townhouse and cottage to show three key ways a house type can be adjusted in order to create different character areas and visual interest.

VARIATIONS

Mews Variations IB- MW-59

Variation 1:



Brick

Variation 2:



Timber
Weatherboarding

Variation 3:



Render/ Stucco

Cottage Variations
IB-CT-43

Variation 1:



Brick

Variation 2:



Timber
Weatherboarding

Variation 3:



Render/ Stucco

Town House Variations
3B - TH-104



Variation 1:
Brick



Variation 2:
Timber
Weatherboarding



Variation 3:
Render/ Stucco

7.

LANDSCAPE DESIGN

Beyond the diversity of architecture and urban structure, these new neighbourhoods will also feature a rich and varied approach to landscape. The design proposals offers a high proportion of open space, designed to accommodate both formal recreational activities and informal places for rest and relaxation. The neighbourhoods also include some untamed, natural areas offering a transition from rural to urban.

There will be a diverse range of green space easily within reach of all residents. Indeed, houses are designed to be within a five-minute walk of town parks and amenities, and smaller, local green spaces are typically much closer. This access to green space will provide a high level of amenity and support the physical and mental well-being of the residents.

LANDSCAPING FEATURES

A key influence of the Estate's masterplan has been the appreciation of the qualities of the existing landscape in and around each development site. The plans have endeavoured to protect worthwhile landscape features and build on the typical characteristics found locally. This should enable the development of settlements with a strong sense of place, rooted in the Hertfordshire countryside.

The creation of public space can enhance social interaction between residents. Hedges and railings should be of an appropriate height to maintain visibility. Where appropriate, public space should be provided of a type and design which is sufficient to serve the local community's families and children. People will appreciate the provision of public space such as squares and greens. If properly designed they will be well utilised and safe.

Developers should seek to avoid ambiguous buffer strips of grass and ill-considered planting. Such 'landscaping' is invariably abused by vehicles and occupiers alike and culminates in poorly maintained and unsightly pockets of land.

Landscapes should be designed to mature over the long term and not simply to provide an instant result (nor as a cynical discharge of planning obligations).

Careful consideration should be given to integrate hard and soft landscaping. In a similar manner, street signs and lighting should be well designed to contribute to a coherent overall environment.

Existing boundary hedges and mature trees should, wherever possible, be retained and consideration be given to new planting as part of a fully considered landscaping plan.



Mill Green



Marshmoor



Stanborough

PROPOSED PLANTING

Planting in streets

Tree planting should be used to add an attractive softening element to streets and public spaces. Species should be selected for their scale, robustness, form, seasonal interest and contribution to biodiversity. For indicative tree species refer to Appendix 3.

Street trees should be root balled, semi-mature (25-30cm girth) or extra-heavy standard (14-16cm girth) specimens, with a 2m clear stem height. Larger specimens should be specified for key routes where immediate visual impact is important whereas smaller trees may be specified in less visible areas where time can be taken for trees to mature. In especially exposed areas where microclimate presents a particular challenge to the establishment of larger trees, the use of smaller specimens may be advisable.

A single species should be used throughout the length of any one street.

Street trees should be planted at regular intervals of 5-20m, depending on species size, and in either parallel or staggered rows. Long lengths of symmetrical formal avenues should generally be avoided, rather avenues should be regularly spaced but with periodic breaks, to create a less regimented feel.

Species selection

For the purposes of selecting appropriate planting, the streets and spaces in Gascoyne Ceceil Estates have been divided into a number of distinct character zones. The choice of planting for each zone is influenced by the status of the street or space, its physical properties and its location on the Transect. The selection of planting shown here should be taken as a guide.



LANDSCAPE CHARACTER ZONES: PLANTING

Planting in zones

Planting should be used to add an attractive softening element to streets and public spaces. Species should be selected for their scale, robustness, form, seasonal interest and contribution to biodiversity.

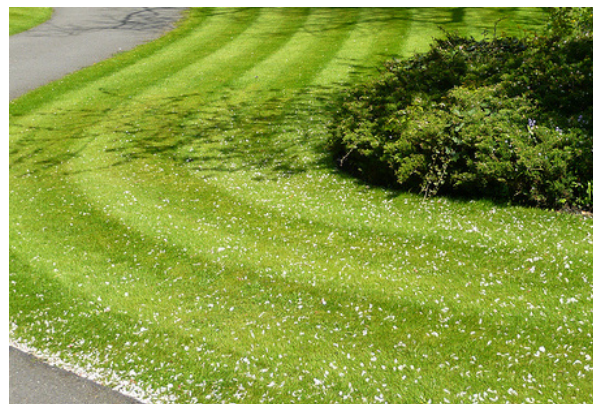
ZONE	Trees	Hedges	Shrubs	Verges/Lawns
T5	<ul style="list-style-type: none"> - deciduous - predominantly native - 25-30cm/14-16cm girth - 2m clear stem height 	<ul style="list-style-type: none"> - Formal - Beech, Yew, Mixed - Ht 0.9, 1.2m or 1.8m maximum subject to location 	<ul style="list-style-type: none"> - ornamental species and /or native 	<ul style="list-style-type: none"> - turf (on slopes) / seed - mow max. 75mm ht
T4	<ul style="list-style-type: none"> - predominantly native - 14-16cm girth - 2m clear stem height 	<ul style="list-style-type: none"> - Formal or informal - Ornamental or native - Ht 0.9, 1.2m or 1.8m maximum subject to location 	<ul style="list-style-type: none"> - ornamental species and /or native 	<ul style="list-style-type: none"> - turf (on slopes) / seed - mow max. 75mm ht
T3	<ul style="list-style-type: none"> - predominantly native - narrow crown, columnar or fastigate habit where space is restricted - 14-16cm girth - 2m clear stem height 	<ul style="list-style-type: none"> - Formal - Ornamental - Ht 0.9 or 1.2m or 1.8 maximum 	<ul style="list-style-type: none"> - ornamental species and /or native 	<ul style="list-style-type: none"> - turf or seed - maintained at a max ht of 75mm or - mow max. 75mm ht
T2	<ul style="list-style-type: none"> - predominantly native - narrow crown, columnar or fastigate habit where space is restricted - 14-16cm girth - 2m clear stem height 	<ul style="list-style-type: none"> - Formal - Ornamental - Ht 0.9 or 1.2m or 1.8 maximum 	<ul style="list-style-type: none"> - ornamental species and /or native 	<ul style="list-style-type: none"> - turf or seed - maintained at a max ht of 75mm or - mow max. 75mm ht
CS	<ul style="list-style-type: none"> - predominantly native - 25-30cm girth - 2m clear stem height 	<ul style="list-style-type: none"> - Formal - Beech - Ht 0.9 or 1.2 maximum subject to location. 	<ul style="list-style-type: none"> - ornamental species and /or native 	<ul style="list-style-type: none"> - turf or seed - maintained at a max ht of 75mm or - mow max 75 mm ht

Shrub planting

Shrub planting should be planted at a high density to provide immediate visual impact and ground coverage. It will help to reduce the planning's susceptibility to vandalism.

Shrubs do not have to fill a shrub bed but where they do not, plants must be closely grouped (not scattered throughout the bed) and the open areas mulched with decorative mulch. Only pine straw, undyed bark mulch, boulders, pebbles or crushed shells are acceptable for such mulching. All beds must include a minimum of 80% plant coverage at maturity.

Species should be selected to provide seasonal interest, with a percentage of evergreen species to provide year round cover. Herbaceous and bulb planting should be added to provide seasonal accent.



Verges

Grass verges are a distinctive feature of the Gascoyne development. In most places these will be closely mown and formal in character, but on the outer margins of the development they may be more informal and maintained in a more rustic manner.

Street trees should be planted in grass verges wherever possible since this provides optimum conditions for tree growth. The planting of seasonal bulbs in the verges is also encouraged.

Generally, the seeding of verges is considered satisfactory but in visually prominent areas or locations where slopes exceed 1 in 12, verges should be turfed.

The shape of the grass verge is determined principally by the footway alignment. The width of footways should generally be kept to a minimum and the edges parallel; the space that remains between the footway and carriageway becomes the verge.

LANDSCAPE CHARACTER ZONES: HARD SURFACES

Whilst developments undertaken by Gascoyne Cecil Estates will have a singular overarching character, it is recognised that because of their scale, individual neighbourhoods within the settlements will have their own unique townscape character. The choice of hard materials is intended to reinforce these two aims – local distinctiveness and overall coherence.

The paving materials have a significant impact on the appearance and quality of the public realm. The emphasis of the public realm design and detail is on a limited palette of high quality materials, to ensure simplicity and continuity and create a robust and easily maintained public realm and landscape.

The materials have been selected to be durable, attractive and long-lasting, whilst providing a surface that is easy to clean, maintain and repair. Natural stone is the prevalent choice, as its qualities and characteristics will positively contribute to the environment and reflect the quality of the streetscape within established vernacular settlements.

The appropriate dimensions and method of laying stone slabs shall be detailed and used consistently throughout the public realm. The following materials are proposed:

- Granite (natural stone or Conservation paving) is the preferred paving material for the square
- Granite setts shall be used for the trafficked areas of the square and also the ramps at the entry points to the development
- Granite setts will be used for detailing such as drainage lines, definition of carriageways and detailing within the paving
- Granite (natural stone or Conservation paving) shall be used for kerbs throughout the site
- Gravel surfaced asphalt will generally be used for the streets including pavements and carriageways

Material	Colour	Size	Finish
Granite paving - pedestrian	Mixture of pink, beige, black and silver grey granite (tbc)	300 x 450mm, 300 x 600mm and 300 x 750mm (tbc)w	Sawn sides with a sawn or flame textured top
Granite setts - vehicular	Mixture; dark grey and mid grey (tbc)	150mm x random lengths (tbc)	Sawn sides with a sawn or flame textured top
Granite setts - banding	Silver grey or grey (tbc)	100 x 100mm (tbc)	Sawn sides with flame textured top
Granite kerbs	Silver grey	305 x 200 x 100mm	Sawn sides with brush hammered or flame textured top and front
Gravel surfaced asphalt	Golden gravel	6mm or 10mm aggregate	
Tactile paving	Silver grey granite	400 x 400 x 50mm	Sawn sides with textured top as required

LANDSCAPE CHARACTER ZONES: HARD SURFACES



Private pavements adjoining the public pavement shall be hard landscaped with cobbles/ granite sets, stone, brick or gravel chipped tarmac, or soft landscaped with gravel or planting in soil pockets, or a combination of these.

Private pathways visible from the street shall be of gravel, stone or brick construction. Any other finish is to be agreed with GCE.

Formal gardens shall often be fenced off with iron railings on a low wall, all designs are to be agreed with GCE. Cottages or detached properties standing within their own curtilage might use simple picket fences.



LANDSCAPE CHARACTER ZONES: GARDEN BOUNDRY TREATMENT



All boundary walls which are built with the intention of providing privacy between adjoining gardens and between gardens and public highways/access ways shall be no less than 1.8 m high and normally no more than 2.1 m high. Walls shall be at least 215 mm thick, constructed in English or Flemish bond.

Generally garden and boundary walls should be stepped on sloping sites such that the height of the wall is kept within the limits noted above. Excessive stepping of the wall should be avoided as should plain and vertical steps.

Where appropriate, walls can be constructed whereby courses follow the natural slope of the ground. This treatment can avoid numerous unsightly steps and awkward brick detailing.

Piers should be inserted at appropriate centres to provide structural stability whilst also providing harmonious appearance. All walls should be to Gascoyne Cecil Estates approval.

Garden walls need not conform to the same type of construction as the buildings they adjoin, although a wall adjoining a more elaborately constructed building should itself reflect that quality of construction. Large expanses of brickwork should be relieved, for example, with panels of flint or by combining materials in horizontal bands, say off-lint, stone or flint and brick. Stucco buildings and rendered garden walls should not normally be used.



Masonry, brick built and rendered garden walls should be capped with a stone coping or a brick on edge coping bedded on a two course tile creasing. Stone coping is expensive and the brick-on-edge is perhaps the most acceptable way of finishing a wall without undue costs except where the wall is of stone. Other alternative copings utilising clay peg tiles and/ or brick may be considered with GCE approval.

Wooden fences constructed with the aim of providing privacy should be minimum 1650 mm high and of vertically lapped 175 x 25 mm feather edged boards on timber posts, with three horizontal rails. Timber palisade fencing may only be used to separate adjacent domestic rear gardens. Woven panels of wooden fencing should be avoided. Open, stock-proof fences on to farmland should be 1200 mm high and of three rails on timber posts. Boarded fences should be left natural or stained to a colour approved by GCE.

Garden gates shall be built of painted timber, mild steel or wrought iron, to a design approved by the GCE.

MANAGEMENT AND MAINTENANCE PLAN

The purpose of this maintenance plan is to set out the long and short term goals for the landscape proposals associated with the Estate's developments in the interests of visual amenity, safety and wildlife. This schedule would be subject to revision after the 5 year period in the light of any changes which have occurred during the intervening period.

Category	Objectives	Aims	1-5 year period
Trees	<ul style="list-style-type: none"> - Ensure the successful establishment of new trees - Maintain trees with adequate clearance to crown and without obstructing to vehicles or pedestrians/cyclists 	<ul style="list-style-type: none"> - Establish tree canopy and good root system - Control competition from weeds - Provide conditions that will ensure survival of trees - Provide visual variety and wildlife benefits 	<ul style="list-style-type: none"> • Maintain 1m minimum diameter weed free area by hand weeding. • Investigation of failed growth of trees, remedial actions and replacement. • Aeration of compacted soils. • Inspect for pests, diseases and undertake remedial action. • Check tree stability. • Check tree ties and loosen if required annually. • Remove stakes and ties after 2 years subject to inspection. • Fertilizer application in April of the second and fourth years. • Annual formative pruning and shaping of canopy as required. • Remove dead wood and encourage balanced growth. • Watering as required to field capacity*, during the dry months.
Shrub and Herbaceous Planting and Hedges	<ul style="list-style-type: none"> - Ensure a successful establishment of new planting 	<ul style="list-style-type: none"> - Establish successful plant cover - Control competition from weeds - Provide conditions that will ensure that plants survive and thrive 	<ul style="list-style-type: none"> • Weed controls and mulch reinstatement. • Slow release fertiliser where appropriate. • Inspection for pests, vermin and plant diseases and remedial actions. • Formative and seasonal pruning for stem, foliage and flowering budwood. • Hedge cutting once a year and twice a year on those areas where hedges abut footpaths. Removal of clippings. • Cut back to the previous year's growth once the hedge has reached its preferred height. Clear out hedge base at the time of clipping. • Extension or strengthening of fencing or other barriers where planting is becoming eroded trampled or damaged. • Re-balancing of growth, removal of over-vigorous species. • Replanting of failed stock or redesign /re-specification of failed areas. • Watering as required to field capacity*, during the dry months. • Removal of litter
Hard Landscape Areas and Street Furniture	<ul style="list-style-type: none"> - Maintain good quality hard landscape surfaces and site furniture 	<ul style="list-style-type: none"> - Maintain clean and levelled surfaces and site furniture to avoid health and safety issues as well as amenity value 	<ul style="list-style-type: none"> • Inspection of hard surface areas annually to check for early breaking up of tarmac surfaces or for differential settlement over paved areas. • Regular surfaces swept to remove excess of grit, dust and accumulation of leaves in autumn. • Check site furniture annually to ensure stability in the ground. • Cleansing and litter pick of all hard surfaces, gully clearance, check lighting, empty litter bins in a regular basis. <p>* For irrigation the soil water storage capacity is defined as the total amount of water that is stored in the soil within the plant's root zone.</p>

8. TERMS AND DEFINITIONS

This Section provides definitions for terms in this Code that are technical in nature or that otherwise may not reflect common usages.

Ancillary Building:
an Outbuilding with an Accessory Unit.

Ancillary Unit:
an Apartment not greater than 44 square metres sharing ownership and utility connections with a Principal Building; it may or may not be within an Outbuilding.

Avenue:
a regularly spaced and aligned row of trees usually planted along a Thoroughfare or Path.

Allotment:
a small area of land made available for individual gardening or agriculture. Parcels are typically managed independently, with an allotment garden featuring numerous independently-managed allotments, featuring a variety of different crops and plantings.

Apartment:
a Residential unit sharing a building and a Plot with other units and/or uses; may be for rent, or for sale as part of a block.

Arcade:
a Private Frontage conventional for Retail use wherein the Facade is a colonnade supporting habitable space that overlaps the Footpath, while the Facade at Footpath level remains at the Frontage Line.

Attic:
the interior part of a building contained within a pitched roof structure.

Backbuilding:
a single-Storey structure connecting a Principal Building to an Outbuilding.

Bicycle Lane (BL):
a dedicated lane for cycling within a moderate-speed vehicular Thoroughfare, demarcated by striping.

Bicycle Route (BR):
a Thoroughfare suitable for the shared use of bicycles and cars moving at low speeds.

Bicycle Track (BT):
a bicycle way running independently of a vehicular Thoroughfare.

Block:
the aggregate of private Plots, Passages, Rear Alleys and Rear Lanes, circumscribed by Thoroughfares.

Block Face:
the aggregate of all the building Facades on one side of a Block.

Brownfield:
an area previously used primarily as an industrial site.

Combined Heat and Power/CHP:
a combined power station generating both electricity and heat.

Civic:
the term defining not-for-profit organisations dedicated to arts, culture, education, recreation, government, transport, and municipal parking.

Civic Building:
a building operated by not-for-profit organisations dedicated to arts, culture, education, recreation, government, transit, and municipal parking, or for use approved by the legislative body.

Civic Space:
an outdoor area dedicated for public use. Civic Space types are defined by the combination of certain physical constraints including the relationships among their intended use, their size, their planting and their Enfronting buildings. See Table 13.

Civic Zone:
designation for public sites dedicated for Civic Buildings and Civic Space.

Commercial:
the term collectively defining workplace, Office, Retail, and Rental Functions.

Common Destination:
an area of focused community activity, usually defining the approximate centre of a Pedestrian Shed. It may include without limitation one or more of the following: a Civic Space, a Civic Building, a Commercial centre, or public transport, and may act as the social centre of a neighbourhood.

Common Area:
a planted Private Frontage wherein the Facade is set back from the Frontage line. It is visually continuous with adjacent yard areas.

Configuration:
the form of a building, based on its massing, Private Frontage, and height.

Copse:
a circular tree planting area, in which field stones, hedges, walls or embankments encircle clusters of trees.

Corridor:
a lineal geographic system incorporating transportation and/or Greenway trajectories. A transportation Corridor may be a lineal Transect Zone.

Cottage:
a single-family dwelling, on a regular Plot, often shared with an Ancillary Building in

the back garden.

Courtyard Building:
a building that occupies the boundaries of its Plot while internally defining one or more private patios.

Deflected Vista:
a view of a continuous streetscape, which terminates beyond the viewer's sight line, or 'around the bend'.

Density:
the number of dwelling units within a standard measure of land area.

Design Code:
a Code regulating the design of an old or new community, including commentary on setbacks, street design, landscaping, building façade, building height and other elements of the built environment.

Design Speed:
is the velocity at which a Thoroughfare tends to be driven without the constraints of signage or enforcement. There are four ranges of speed: Very Low: (Below 20 mph); Low: (20-25 mph); Moderate: (25-35 mph); High: (above 35 mph). Lane width is determined by desired Design Speed.

Disposition:
the placement of a building on its Plot.

Drive:
a Thoroughfare along the boundary between an Urbanised and a natural condition, usually along a waterfront, Park, or promontory. One side has the urban character of a Thoroughfare, with Footpath and building, while the other has the qualities of a Road or parkway, with naturalistic planting and rural details.

Driveway:
a vehicular lane within a Plot, often leading to a garage.

Dwelling:
a general term for a housing unit, referencing a house or flat home to one family group.

Edge Garden Building:
a building that occupies the centre of its Plot with Setbacks on all sides.

Effective Parking:
the amount of parking required for Mixed Use after adjustment by the Shared Parking Factor.

Effective Turning Radius:
the measurement of the inside Turning Radius taking parked cars into account.

Elevation:
an exterior wall of a building not along a Frontage Line.

Embankment:
an artificial bank, raised above surrounding groundlevels, to redirect water or prevent flooding.

Encroach:

to break the plane of a vertical or horizontal regulatory limit with a structural element, so that it extends into a Setback, into the Public Frontage, or above a height limit.

Encroachment:

any structural element that breaks the plane of a vertical or horizontal regulatory limit, extending into a Setback, into the Public Frontage, or above a height limit.

Exception:

a ruling that would permit a practice that is not consistent with a specific provision of this Code, but that is justified by its Intent.

Expression Line:

a line prescribed at a certain level of a building for the major part of the width of a Facade, expressed by a variation in material or by a limited projection such as a moulding or balcony.

Extension Line:

a line prescribed at a certain level of a building for the major part of the width of a Facade, regulating the maximum height for an Encroachment by an Arcade Frontage.

Facade:

the exterior wall of a building that is set along a Frontage Line.

Footpath:

the paved section of the Public Frontage dedicated exclusively to pedestrian activity.

Forecourt:

a Private Frontage wherein a portion of the Facade is close to the Frontage Line and the central portion is set back.

Frontage:

the area between a building Facade and the vehicular lanes, inclusive of its built and planted components. Frontage is divided into Private Frontage and Public Frontage.

Frontage Line:

a Plot line bordering a Public Frontage. Facades facing Frontage Lines define the public realm and are therefore more regulated than the Elevations facing other Plot Lines.

Function:

the use or uses accommodated by a building and its Plot, categorized as Restricted, Limited, or Open, according to the intensity of the use.

Gallery:

a Private Frontage conventional for Retail use wherein the Facade is aligned close to the Frontage Line with an attached cantilevered shed or lightweight colonnade overlapping the Footpath.

Green:

a Civic Space type for unstructured recreation, spatially defined by planting rather than building Frontages.

Greenbelt:

land designated to remain undeveloped, providing permanent green space in close proximity to existing settlements.

Greenfield:

an area that consists of open or wooded land or farmland that has not been previously developed.

Greenway:

an Open Space Corridor in largely natural conditions which may include trails for bicycles and pedestrians.

Highway:

a rural and suburban Thoroughfare of high vehicular speed and capacity. This type is allocated to the more rural Transect Zones (T-1, T-2, and T-3).

High Street:

a main local shopping street, featuring shops, restaurants, offices and other amenities catering to both neighbourhood residents and the wider community.

Home Occupation:

the work quarters should be invisible from the Frontage, located either within the house or in an Outbuilding. Permitted activities are defined by the Restricted Office category.

House:

a single-family dwelling on a large Plot, often shared with an Accessory Building in the back garden. (Syn: single.)

Kerb:

the edge of the vehicular pavement that may be raised or flush to a Swale. It usually incorporates the drainage system.

Layer:

a range of depth of a Plot within which certain elements are permitted.

Lightwell:

a Private Frontage type that is a below-grade entrance or recess designed to allow light into basements. (Syn: light court.)

Linear Pedestrian Shed:

a Pedestrian Shed that is elongated along an important Mixed Use Corridor such as a high street. A Linear Pedestrian Shed extends approximately 1/4 mile from each side of the Corridor for the length of its Mixed Use portion. The resulting area is shaped like a lozenge.

Liner Building:

a building specifically designed to mask a Car Park or a Parking Structure from a Frontage.

Live-Work:

a Mixed Use unit consisting of a Commercial and Residential Function. The Commercial Function may be anywhere in the unit. It is intended to be occupied by a business operator who lives in the same structure that contains the Commercial activity or industry. See Work-Live. (Synonym: flexhouse.)

Long Pedestrian Shed:

a Pedestrian Shed that is an average 1/2 mile radius, used when a public transport stop (bus or rail) is present or proposed as the Common Destination. A Long Pedestrian Shed represents approximately a ten-minute walk at a leisurely pace.

Plot:

a parcel of land accommodating a building or buildings of unified design. The size of a Plot is controlled by its width in order to determine the grain (i.e., fine grain or coarse grain) of the urban fabric.

Plot Line:

the boundary that legally and geometrically demarcates a Plot.

Plot Width:

the length of the Principal Frontage Line of a Plot.

Main Civic Space:

the primary outdoor gathering place for a community. The Main Civic Space is often, but not always, associated with an important Civic Building.

Median:

the dividing area between two opposing lanes of traffic. Within Boulevards and Avenues, medians may be planted with predominately single species trees.

Meeting Hall:

a building available for public gatherings.

Mews:

a very flexible and diverse Nongarden building type; the disposition, the size and the character vary enormously. The mews are usually located in the middle of the block and their plots accommodate one or two parking spaces. They may be front loaded when located along an alley and rear loaded when on a small street or a pedestrian path.

Mixed Use:

multiple Functions within the same building through superimposition or adjacency, or in multiple buildings by adjacency, or at a proximity determined by Exception.

Neighbourhood:

a local community, featuring housing and a variety of destinations necessary for daily life, including shops, offices, parks and civic buildings. The neighbourhood often falls within a Pedestrian Shed, centred on a Common Destination, or Neighbourhood Centre.

Neighbourhood Centre:

the central point of a Neighbourhood, typically falling in the centre of a Pedestrian Shed. A Neighbourhood Centre typically features amenities for the neighbourhood at large, including shops, offices, parkland and civic buildings.

Net Site Area:

all developable land within a site including Thoroughfares but excluding land allocated as Civic Zones.

Network Pedestrian Shed:

a Pedestrian Shed adjusted for average walk times along Thoroughfares. This type may be used to structure Infill Community Plans.

Nongarden:

a building that occupies the boundaries of its Plot. This is the most urban of types, as it is able to shield the private realm from all sides while strongly defining the public Thoroughfare. Because of its ability to accommodate incompatible activities, masking them from all sides, it is recommended for workshops, Lodging and schools.

Office:

premises available for the transaction of general business but excluding Retail, artisanal and Manufacturing uses.

Open Space:

land intended to remain undeveloped; it may be for Civic Space.

Outbuilding:

an Accessory Building, usually located toward the rear of the same Plot as a Principal Building, and sometimes connected to the Principal Building by a Backbuilding.

Pattern Book:

a document articulating and illustrating the detailed design plans for a new community. Plans for the community structure, street types and house types are typically addressed within such a document, alongside an explanation of the origins of these plans.

Park:

a Civic Space type that is a natural preserve available for unstructured recreation.

Parking Structure:

a building containing one or more Storeys of parking above grade.

Passage (PS):

a pedestrian connector, open or roofed, that passes between buildings to provide shortcuts through long Blocks and connect rear parking areas to Frontages.

Path (PT):

a pedestrian way traversing a Park or rural area, with landscape matching the contiguous Open Space, ideally connecting directly with the urban Footpath network.

Pedestrian Desire Line:

a preferred route for pedestrians, often directly connecting one popular destination with another.

Pedestrian Shed:

an area that is centred on a Common Destination. Its size is related to average walking distances for the applicable Community Unit type. Pedestrian Sheds are applied to structure Communities. See Standard, Long, Linear or Network Pedestrian Shed.

Plaza:

a Civic Space type designed for Civic purposes and Commercial activities in the more urban Transect Zones, generally paved and spatially defined by building Frontages.

Primary Street:

a Thoroughfare designed for high vehicular capacity and moderate speed, traversing an Urbanised area. Primary Streets are usually equipped with Slip Roads buffering Footpaths and buildings.

Principal Building:

the main building on a Plot, usually located toward the Frontage.

Principal Entrance:

the main point of access for pedestrians into a building.

Principal Frontage:

on corner Plots, the Private Frontage designated to bear the address and Principal Entrance to the building, and the measure of minimum Plot width. Prescriptions for the parking Layers pertain only to the Principal Frontage. Prescriptions for the first Layer pertain to both Frontages of a corner Plot.

Private Frontage:

the privately held Layer between the Frontage Line and the Principal Building Facade.

Public Car Park:

parking Structure or Car Park within a quarter-mile of the site that it serves.

Public Frontage:

the area between the Kerb of the vehicular lanes and the Frontage Line.

Rear Alley (RA):

a vehicular way located to the rear of Plots providing access to service areas, parking, and Outbuildings and containing utility easements. Rear Alleys should be paved from building face to building face, with drainage by inverted crown at the centre or with roll Kerbs at the edges.

Rear Lane (RL):

a vehicular way located to the rear of Plots providing access to service areas, parking, and Outbuildings and containing utility easements. Rear Lanes may be paved lightly to Driveway standards. The streetscape consists of gravel or landscaped edges, has no raised Kerb, and is drained by percolation.

Rear Garden Building:

a building that occupies the full Frontage Line, leaving the rear of the Plot as the sole garden. (Var: Terrace House, Townhouse, Apartment Villa)

Recess Line:

a line prescribed for the full width of a Facade, above which there is a Stepback of a minimum distance, such that the height to this line (not the overall building height) effectively defines the enclosure of the Enfronting public space. Var: Extension Line.

Regional Centre Development (RCD):

a Community Unit type structured by a Long Pedestrian Shed or Linear Pedestrian Shed, which may be adjoined without buffers by one or several Standard Pedestrian Sheds, each with the individual Transect Zone requirements of a TND.

Regulating Plan:

see page __ a Zoning Map or set of maps that shows the Transect Zones, Civic Zones, Special Districts if any, and Special Requirements if any, of areas subject to, or potentially subject to, regulation by the Code.

Residential:

characterising premises available for long-term human dwelling.

Retail:

characterising premises available for the sale of merchandise and food service.

Retail Frontage:

frontage designated on a Regulating Plan that requires or recommends the provision of a Shopfront, encouraging the ground level to be available for Retail use.

Road (RD):

a local, rural and suburban Thoroughfare of low-to-moderate vehicular speed and capacity. This type is allocated to the more rural Transect Zones (T1-T3).

Roundel:

a circular tree planting area, in which field stones, hedges, walls or embankments encircle clusters of trees. (Syn: Copse)

Rural Boundary Line:

the extent of potential urban growth as determined by existing geographical determinants. The Rural Boundary Line is permanent.

Secondary Frontage:

on corner Plots, the Private Frontage that is not the Principal Frontage. As it affects the public realm, its First Layer is regulated.

Semi-detached Building:

a building that occupies one side of the Plot with a Setback on the other side. This type can be a Single or Twin depending on whether it abuts the neighboring house.

Setback:

the area of a Plot measured from the Plot line to a building Facade or Elevation that is maintained clear of permanent structures, with the exception of Encroachments.

Shared Parking Factor:

an accounting for parking spaces that are available to more than one Function.

Shared Surface (SS):

a vehicular way located to the rear of Plots providing access to service areas, parking, and Outbuildings and containing utility easements.

Shopfront:

a Private Frontage conventional for Retail use, with substantial glazing and an awning, wherein the Facade is aligned close to the Frontage Line with the building entrance at Footpath grade.

Slip Road:

an outer vehicular lane or lanes of a Thoroughfare, designed for slow speeds while inner lanes carry higher speed traffic, and separated from them by a planted median. (Syn: access lane, service lane)

Specialised Building:

a building that is not subject to Residential, Commercial, or Lodging classification.

Special District (SD):

an area that, by its intrinsic Function, Disposition, or Configuration, cannot or should not conform to one or more of the normative Community Unit types or Transect Zones specified by the SmartCode. Special Districts may be mapped and regulated at the regional scale or the community scale.

Square:

a Civic Space type designed for unstructured recreation and Civic purposes, spatially defined by building Frontages and consisting of Paths, lawns and trees, formally disposed.

Standard Pedestrian Shed:

a Pedestrian Shed that is an average 1/4 mile about the distance of a five-minute walk at a leisurely pace. See Pedestrian Shed.

Stepback:

a building Setback of a specified distance that occurs at a prescribed number of Storeys above the ground.

Storey:

a habitable level within a building, excluding an Attic or raised basement.

Street (ST):

a local urban Thoroughfare of low speed and capacity.

Streetscreen:

a freestanding wall built along the Frontage Line, or coplanar with the Facade. It may mask a Car Park from the Thoroughfare, provide privacy to a side garden, and/or strengthen the spatial definition of the public realm. (Syn: streetwall.)

Substantial Modification:

alteration to a building that is valued at more than 50% of the replacement cost of the entire building, if new.

T-zone:

transect Zone.

Terminated Vista:

a location at the axial conclusion of a Thoroughfare. A building located at a Terminated Vista designated on a Regulating Plan is required or recommended to be designed in response to the axis.

Terrace House:

a single-family dwelling that shares a party wall with another of the same type and occupies the full Frontage Line. See Rear Garden Building.

Thoroughfare:

a way for use by vehicular and pedestrian traffic and to provide access to Plots and Open Spaces, consisting of Vehicular Lanes and the Public Frontage.

TND:

traditional Neighborhood Development, a Community Unit type structured by a Standard Pedestrian Shed oriented toward a Common Destination consisting of a Mixed Use centre or Corridor; and in the form of a medium-sized settlement near a transportation route.

Transect:

a cross-section of the environment showing a range of different habitats. The rural-urban Transect of the human environment used in the GCE Pattern Book is divided into six Transect Zones. These zones describe the physical form and character of a place, according to the Density and intensity of its land use and Urbanism.

Transect Zone (T-zone):

one of several areas on a Zoning Map regulated by the Gascoyne Cecil Estates Pattern Book. Transect Zones are administratively similar to the land use zones in conventional codes, except that in addition to the usual building use, Density, height, and Setback requirements, other elements of the intended habitat are integrated, including those of the private Plot and building and Public Frontage.

Turning Radius:

the curved edge of a Thoroughfare at an intersection, measured at the inside edge of the vehicular tracking. The smaller the Turning Radius, the smaller the pedestrian crossing distance and the more slowly the vehicle is forced to make the turn.

Urban Boundary Line:

the extent of potential urban growth as determined by the projected demographic needs of a region. The Urban Boundary Line may be adjusted from time to time.

Urbanism:

collective term for the condition of a compact, Mixed Use settlement, including the physical form of its development and its environmental, functional, economic, and sociocultural aspects.

Urbanised:

generally, developed. Specific to the SmartCode, developed at T-3 (Sub-Urban) Density or higher.

Variance:

a ruling that would permit a practice that is not consistent with either a specific provision or the Intent of this Code.

Verge, Grass:

a verge type which is low or slightly depressed for drainage.

Verge:

a narrow strip of turf bordering on a Public Frontage which accommodates street trees, whether continuous or individual.

Yield:

characterizing a Thoroughfare that has two-way traffic but only one effective travel lane because of parked cars, necessitating slow movement and driver negotiation. Also, allows for parking on such a Thoroughfare.

NOTES



Further Advice and Information can be obtained from;

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